

OR25-059 - COLUMBIA GORGE COMMUNITY COLLEGE

400 EAST SCENIC DRIVE, THE DALLES, OR 97058

ISSUED ON: 2026-02-11

BUILDING 4

SCOPE OF REPAIR SUMMARY

SEE SECTION 01 1013 - SCOPE OF REPAIR IN THE PROJECT MANUAL. SHOULD THERE BE DISCREPANCIES BETWEEN THIS SCOPE OF REPAIR SUMMARY AND SECTION 01 1013 OF THE PROJECT MANUAL, SECTION 01 1013 SHALL GOVERN.

GENERAL CONDITIONS:

- PROJECT MOBILIZATION SHALL INCLUDE ALL CONTRACTOR AND SUBCONTRACTOR MOBILIZATION COSTS.
- PROJECT GENERAL REQUIREMENTS AND ALL MISCELLANEOUS COSTS ASSOCIATED WITH THE COMPLETION OF THE WORK SHALL INCLUDE, BUT NOT BE LIMITED TO, DEMOLITION AND DISPOSAL, WATER DAMAGE REMEDIATION, CLADDING REHABILITATION OR REPLACEMENT AS APPLICABLE, WINDOW REHABILITATION AS APPLICABLE, ROOF REHABILITATION, AND PROJECT CLEAN UP.
- CARRY PRICING FOR APPROPRIATE SITE SUPERVISION, PROJECT MANAGEMENT, OFFICE SERVICES, ON-SITE TEMPORARY OFFICE, MATERIAL STORAGE AND STAGING, FULL-TIME WEATHER PROTECTION, SCAFFOLDING, STAGING AND ACCESS, TEMPORARY SHORING, TEMPORARY FENCING SAFEGUARDS, PEDESTRIAN PROTECTION, WORK FACILITIES, CONSTRUCTION OFFICES, UTILITY COST, SECURITY SUBMITTALS, RFI'S, MOCK-UPS, PROJECT PROGRESS MEETINGS, RECORD DRAWINGS, ETC.
- THE CONTRACTOR SHALL PROVIDE AFTER HOURS AND WEEKEND SECURITY TO GUARD CONSTRUCTION AND THE CONTRACTORS COST AND DISCRETION.
- CONTRACTOR SHALL PROVIDE AN ORGANIZATIONAL CHART WITH THE PROPOSAL FOR STAFFING THE PROJECT. STAFFING MUST INCLUDE A PROJECT MANAGER, A SITE SUPERINTENDENT, AND AT LEAST ONE FULL-TIME QUALITY CONTROL INSPECTOR.
- CARRY ALLOWANCES FOR APPLICABLE TRADE PERMITS AND SITE UNDER PERMITS AS REQUIRED BY THE CITY OF THE DALLES. INCLUDE ALL COST NECESSARY FOR SUBMISSION DOCUMENTS REQUIRED TO PERMIT AND COMPLETE THIS PROJECT INCLUDING ALL NECESSARY AS-BUILTS, SHORING AND SURVEYS. PERMITS ARE EXPECTED TO BE REQUIRED FOR EACH INDIVIDUAL BUILDING AS OPPOSED TO A SINGLE PERMIT FOR THE ENTIRE PROJECT AND COSTS ARE TO BE CARRIED AS SUCH.
- CONTRACTOR SHALL MAINTAIN ALL INSURANCE COVERAGES IDENTIFIED IN THE CONTRACT.
- IT WILL BE THE CONTRACTORS RESPONSIBILITY TO KEEP THE ENTIRE JOB SITE SAFE AND CLEAN DURING THIS CONSTRUCTION. DAILY CLEAN-UP WILL BE REQUIRED THROUGHOUT THE CONSTRUCTION PERIOD.
- CONTRACTOR TO SUPPLY ALL DUMPSTERS AND DUMP FEES NECESSARY TO COMPLETE PROJECT.
- ALL SUBCONTRACTOR CONTRACTS MUST BE SIGNED AND IN EFFECT PRIOR TO THE START OF CONSTRUCTION. PROOF OF EXECUTED SUBCONTRACTOR AGREEMENTS SHALL BE PRESENTED BY THE CONTRACTOR TO THE PROPERTY OWNER OR DESIGNATED REPRESENTATIVE PRIOR TO ANY CONSTRUCTION OR STAGING TAKING PLACE.
- UPON REINSTATEMENT OF PERMANENT STRUCTURAL LOAD SYSTEMS, REMOVE AND DISPOSE OF ANY TEMPORARY SHORING MATERIALS IN PLACE PRIOR TO OR USED DURING THE COURSE OF CONSTRUCTION PER LOCAL REQUIREMENTS.
- PROVIDE ALL NECESSARY STAGING, HOARDING, AND WEATHER PROTECTION TO PERFORM THE WORK WITHIN THE BASE COST.
- PROVIDE ALL NECESSARY PREPARATIONS TO PERFORM THE WORK WITHIN THE BASE COST.
- WATER AND WEATHER ENTRY INTO THE UNITS THROUGHOUT THE DURATION OF CONSTRUCTION IS NOT TO OCCUR. CONTRACTOR SHALL BEAR ALL ASSOCIATED REPAIR COSTS SHOULD THIS OCCUR.

PRIMARY SCOPE ELEMENTS

THE PRIMARY REPAIR ELEMENTS OUTLINED WITHIN THE SCOPE OF REPAIR INCLUDE:

- REMOVAL AND DISPOSAL OF THE IN-SERVICE LOW-SLOPE ROOFING ASSEMBLY
- REMOVAL AND DISPOSAL OF THE EXISTING PERIMETER RAILING, PATCH HOLES IN NON-SHROK GROUT AND APPLY NEW STUCCO COVER TO MATCH EXISTING COLOR AND TEXTURE
- CONSTRUCT NEW PARAPET WALL ALONG PERIMETER OF ROOF PER PLANS AND DETAILS
- REMOVE AND CAP OFF EXISTING ROOF DRAINS AS NOTED ON ROOF PLAN
- PREPARE EXISTING ROOF DECK FOR INSTALLATION OF NEW FULLY-ADHERED AIR AND VAPOR BARRIER MEMBRANE
- INSTALL NEW ROOF DRAINS AND OVERFLOWS IN LOCATIONS NOTED ON ROOF PLAN
- INSTALL NEW CONCRETE IN SUE AND LOCATION PER CLIENT
- INSTALL NEW TAPERED POLYISOCYANURATE INSULATION W/ HD POLY-ISO COVERBOARD, PROVIDING SLOPE TO EXISTING ROOF DRAINS TO REMAIN AND NEW ROOF DRAIN LOCATIONS
- INSTALL NEW 2-PLY SBS MODIFIED BITUMEN ROOF MEMBRANE
- INSTALL PERIMETER STRUT CHANNELS, LOCATIONS AND LENGTHS PER CLIENT
- AT MECHANICAL CURBS WITH FLASHINGS OR ELEMENTS THAT CANT BE REPLACED AND EXHIBIT RUSTING - INSPECT CONDITION TO DETERMINE IF INTEGRITY IS COMPROMISED, REMOVE RUST FROM ALL SURFACES, APPLY RUST-INHIBITING PRIMER, PREPARE EXISTING SURFACES FOR PAINTING, PAINT WITH HIGH-PERFORMANCE EPOXY METAL PAINT.

THIS SCOPE DOES NOT ADDRESS UNFORESEEN STRUCTURAL DEFICIENCIES, MECHANICAL SYSTEMS, OR OTHER BUILDING SYSTEMS NOT DIRECTLY IMPACTED BY THE PROPOSED ENVELOPE RENEWALS. CONSTRUCTION DOCUMENTS WERE NOT AVAILABLE FOR REFERENCE. ASSUMPTIONS WERE MADE ABOUT THE EXISTING ROOFING ASSEMBLY TO THE BEST OF OUR ABILITY BASED ON FIELD OBSERVATIONS AND NON-DESTRUCTIVE MOISTURE SCANNING AT SELECT AREAS NOTED IN THE PHOTO APPENDIX. THIS DOCUMENT MAY BE MODIFIED AS NECESSARY TO REFLECT EXISTING CONDITIONS AND CORRESPONDING RECOMMENDATIONS AFTER EXISTING CONDITIONS ARE CONFIRMED DURING THE CONSTRUCTION PHASE.

SCOPE REQUIREMENTS - ROOF AREAS

- TEMPORARILY REMOVE AND STORE ALL MISCELLANEOUS COMPONENTS AFFIXED OR SET ON THE BUILDING ROOF THAT MAY BE IMPACTED BY THE WORK. STORE FOR REINSTALLATION UNLESS SCHEDULED FOR REPLACEMENT.
- REMOVE AND PROPERLY DISPOSE OF FLASHINGS, EDGE METALS AND ASSOCIATED COMPONENTS IMPACTED BY THE WORK AND AS NEEDED FOR PROPER INSTALLATION OF THE NEW ROOFING AND DRAINAGE SYSTEMS.
- AT REMOVED ROOF DRAINS, INSTALL PERMANENT PIPING PLUG AND FILL HOLE OR DRAIN W/ NON-SHROK GROUT.
- AT REMOVED FLASHINGS WHERE WOOD CURBING IS PRESENT, VERIFY CONDITION OF NEWLY EXPOSED MATERIALS AND REPLACE DAMAGED MEMBERS. SEE RPT REPAIR ALLOWANCE.
- IN COORDINATION WITH THE CONSULTANT, EVALUATE THE ROOF DECK TO DETERMINE LOCATIONS WHERE UNDERLYING DECKING EXHIBITS DAMAGE THAT NEEDS TO BE REPAIRED BEFORE NEW ROOF WORK CAN PROCEED.
- CONSTRUCT ALL SHEET-METAL FLASHING FROM 24-GAUGE PRE-FINISHED SHEET-METAL FLASHING, WITH THE EXCEPTION OF NEW MECHANICAL CURB COLLARS, WHICH SHALL BE STAINLESS STEEL. ENSURE ALL SHEET-METAL FLASHING HAS A MINIMUM 1% SLOPE AND PERMANENTLY WATER-TIGHT JOINTS THAT MEET THE MINIMUM SMACNA REQUIREMENTS. SECURE ALL FLASHING WITH 304 STAINLESS-STEEL FASTENERS. PLATE-TO FASTENERS ARE NOT TO BE USED.
- INSTALL SELF-ADHERED MEMBRANE, PRE-MANUFACTURED FLASHINGS, AND SHEET-METAL FLASHING AS NEEDED TO FLASH THE VARIOUS SMALL PENETRATIONS (I.E. PIPES, EXHAUST VENTS, ROOF SCUPPER SLEEVES AND OVERFLOWS, ETC.) AS PER THE DESIGN DOCUMENTS.

ABBREVIATIONS:

AL	ALUMINUM
APPROX	APPROXIMATE
ARCH	ARCHITECTURAL
BLDG	BUILDING
BOT	BOTTOM
COL	CONCRETE MASONRY UNIT
C.M.U.	CONCRETE MASONRY UNIT
CONC	CONCRETE
CONT	CONTINUOUS
CONSTR	CONSTRUCTION
CW	COMPLETE WITH
DIA	DIAMETER
DM	DIMENSION
DWG	DRAWING
D.S.	DOWNSPOUT
EA	EACH
EL	ELEVATION
ELEC	ELECTRICAL
EQ	EQUAL
EQUIP	EQUIPMENT
EXIST	EXISTING
EXT	EXTERIOR
F.C.	FIBER CONCRETE
F.D	FLOOR DRAIN
FIN	FINISH
FIR	FIRE-RETARDANT TREATED WOOD
FURR	FURRING OR FURRED
GA	GAUGE
GALV	GALVANIZED
G.V.B.	GYP-SUM WALL BOARD
GYP	GYP-SUM
HORIZ	HORIZONTAL
INT	INTERIOR
INSUL	INSULATION
MEMB	MEMBRANE
MIN	MINIMUM
MISC	MISCELLANEOUS
NOT IN CONTRACT	NOT IN CONTRACT
N.T.S.	NOT TO SCALE
ON CENTER	ON CENTER
P.W.D.	PLYWOOD
OSB	ORIENTED STRAND BOARD
PRESSURE TREATED	PRESSURE TREATED
POLY	POLYETHYLENE
R	RADIUS
REF	REFERENCE
REINFORC	REINFORCED
REINFORC	REINFORCED
REINFORC	REINFORCED
REINFORC	REINFORCED
R.O.	RAINWATER LEADER
R.W.A.	RAINWATER LEADER
S.A.M.	SELF-ADHERED MEMBRANE
SEAL	SEALANT
SECTION	SECTION
SMALL	SMALL
SPEC	SPECIFICATION
S.O.G.	SLOPE ON GRADE
SST	STAINLESS STEEL
STRUC	STRUCTURAL
T&G	TONGUE AND GROOVE
T.B.A	TO BE CONFIRMED
TEMP	TEMPERATURE
T.O.P	TOP OF WALL
TYP	TYPICAL
U.N.O	UNLESS NOTED OTHERWISE
VERT	VERTICAL
V.I.F	VERY IN FIELD
W	WITH
W/O	WITHOUT
W.R.B	WEATHER-RESISTIVE BARRIER
@	AT
#	NUMBER / POUNDS
+	PLUS OR MINUS
L	ANGLE

GENERAL NOTES - SHEAR AND FIRE WALLS

- SHEAR WALLS (WHERE OCCUR) FOUND THROUGH THE COURSE OF CONSTRUCTION WILL BE IDENTIFIED TO THE ARCHITECT. AS REQUIRED, REVISED PLANS AND DETAILS IDENTIFYING HOW THE EXISTING CONDITIONS WILL BE REMEDIATED TO MAINTAIN THE INTEGRITY OF THE SHEAR WALLS IN QUESTION WILL BE SUBMITTED TO THE A/H FOR REVIEW AND APPROVAL PER SECTION 107.2.1.
- UNIDENTIFIED FIRE-RESISTANT RATED WALLS FOUND THROUGH THE COURSE OF CONSTRUCTION WILL BE IDENTIFIED TO THE ARCHITECT. AS REQUIRED, REVISED PLANS AND DETAILS IDENTIFYING HOW THE EXISTING CONDITIONS WILL BE REMEDIATED TO MAINTAIN THE INTEGRITY OF THE FIRE-RESISTANT RATED CONSTRUCTION IN QUESTION WILL BE SUBMITTED TO THE A/H FOR REVIEW AND APPROVAL PER SECTION 107.2.1.
- WHERE EXTERIOR WALLS (SHEAR, FIRE OR GENERAL USE) WALLS ARE FOUND TO HAVE DAMAGE THAT CANNOT BE TRACED TO A DEFINITIVE LEAKAGE SOURCE, THE AREA IS TO BE REVIEWED WITH THE ARCHITECT/CONSULTANT PRIOR TO DAMAGED SHEATHING REMEDIATION. DO NOT PROCEED WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT/CONSULTANT.

AHJ REVIEW OF REPLACED SHEATHING/FRAMING

- REPLACED SHEATHING IS TO BE NAILED PER THE FRAMING AND SHEATHING NOTES IN THESE DOCUMENTS OR PER THE ORIGINAL CONSTRUCTION DRAWINGS, WHOEVER IS MORE STRINGENT.
- NOTIFY CONSULTANT IF AREAS OF FRAMING REPAIRS FOUND THAT REQUIRE ENGINEERED TEMPORARY SHORING. WALL SHEATHING IS TO BE MAINTAINED UNTIL REPLACED WITH ENGINEERED TEMPORARY SHORING.
- REVIEW REPLACED SHEATHING AND FRAMING WITH THE BUILDING INSPECTOR AS REQUIRED BY THE AHJ PRIOR TO COVER.

FRAMING & SHEATHING REQUIREMENTS

- NEW FRAMING SHALL BE OF THE SAME SIZE AS THOSE MEMBERS BEING REPLACED UNLESS SPECIFICALLY APPROVED.
- FRAMING LUMBER SHALL BE HEIN PR NO. 2 FOR STUDS AND JOISTS, DOUG-FIR NO. 1 FOR BEAMS AND POSTS. GRADES ARE TYPICAL UNLESS OTHERWISE NOTED. LUMBER IS TO BE GRADE MARKED PER NCMA SPECIFICATIONS.
- STRUCTURAL SHEATHING SHALL BE APA RATED PLYWOOD, EXPOSURE 1 SHEATHING CONFORMING TO OTHER COMMERCIAL STANDARDS PS1-83, APA PRP-108, OR VOLUNTARY PRODUCT STANDARD PS-28. PROVIDE A MINIMUM OF 3" EDGE DISTANCE ON ALL WALLS AND 18" EXPANSION JOINT BETWEEN ALL PANEL EDGES. MINIMUM SHEATHING REQUIREMENTS ARE AS FOLLOWS, UNLESS NOTED OTHERWISE ON THE PLANS.
- NAILING SHALL CONFORM TO TABLE 2304.10.2 OF THE INTERNATIONAL BUILDING CODE UNLESS NOTED OTHERWISE. USE COMMON WALLS UNLESS OTHERWISE NOTED OTHERWISE.
- NO STRUCTURAL MEMBER SHALL BE CUT OR NOTCHED UNLESS SPECIFICALLY DETAILED OR APPROVED IN WRITING.
- PROVIDE PROPERLY SIZED WASHERS UNDER HEADS AND NUTS OF ALL BOLTS AND LAG SCREWS BEARING ON WOOD.
- PROVIDE 3/16"X2"X2" WASHERS AT ALL ANCHOR BOLTS.
- BOLT HOLES SHALL BE NOMINAL DIAMETER OF BOLT PLUS 1/16" UNLESS NOTED OTHERWISE. LAG BOLT HOLE HOLES SHALL BE PRE-DRILLED TO 90% OF THE NOMINAL DIAMETER OF THE LAG BOLT UNLESS NOTED OTHERWISE.
- ALL SILL PLATES SHALL BE BOLTED TO THE FOUNDATION WITH 1/2" MINIMUM DIAMETER BOLTS SPACED AT A MAXIMUM OF 48". BOLTS MUST BE EMBEDDED A MINIMUM OF 7" INTO CONCRETE OR MASONRY.
- PROVIDE DOUBLE JOIST UNDER ALL PARALLEL PARTITION WALLS AND SOLID BLOCKING UNDER PERPENDICULAR PARTITION WALLS.
- WALL SHEATHING TO BE 5/8" CDX UNLESS NOTED OTHERWISE.
- ROOF SHEATHING TO BE PRESSURE-TREATED 1/2" CDX UNLESS NOTED OTHERWISE.
- FASTENERS TO BE HOT DIP GALVANIZED UNLESS NOTED OTHERWISE.
- EXTERIOR WALL OPENINGS & BEARING WALL OPENINGS TO HAVE 4 X 4 HEADERS UNLESS OTHERWISE INDICATED.
- PROVIDE SHORIN WOOD TRUSS TIES AT EACH TRUSS LOCATION BEARING ON WALL DOUBLE TOP PLATE CONSTRUCTION.
- PROVIDE FIRE-BLOCKING, DRAFTSTOPS & FIRESTOPS AS REQUIRED BY THE OREGON STRUCTURAL SPECIALTY CODE.
- PROVIDE POSITIVE CONNECTIONS AT EACH END OF POSTS AND COLUMNS TO RESIST LATERAL DISPLACEMENT.
- PROVIDE NEW PRESERVATIVE PRESURE-TREATED SILL PLATES AT AREAS OF NEW CONSTRUCTION (W/PA USE CLASSIFICATION 10C ABOVE GROUND).
- ENGINEERED ROOF TRUSSES: REFER TO TRUSS SHOP DRAWINGS.
- LUMBER SPECIES - UNO:
 - A. POSTS, BEAMS, HEADERS, JOISTS AND RAFTERS: NO. 2 DOUGLAS FIR
 - B. SILL PLATES, BLOCKING BRIDGING: NO. 1 DOUGLAS FIR
 - C. STUDS: STUD GRADE F.F.
 - D. STUDS OVER 10' HIGH: NO. 1 OR BETTER
 - E. POST & BEAM DECKING: UTILITY GRADE
 - F. PLYWOOD SHEATHING: 2"X2" CDX PLY 3016
 - G. GULL-AM BEAMS (EXT. ADX. EXT. CONDITIONS): 12-3000, DRY ADX.
- NAILING SCHEDULE - UNO:
 - A. JOIST TO SILL OR GORDER: 3-8d TOE NAIL
 - B. 2" SUBFLOOR TO GORDER: 2-16d BLND & FACE
 - C. SOLE PL. TO FOUNDATION: 16d @ 10" O.C. FACE NAIL
 - D. SOLE PL. TO JOIST: 16d @ 10" O.C. FACE NAIL
 - E. TOP PL. TO STUDS: 2-16d END NAIL
 - F. STUD TO TOE PL: 4-8d TOE NAIL OR 2-16d
 - G. END WALL: 16d @ 10" O.C. FACE NAIL
 - H. DOUBLE STUDS: 16d @ 10" O.C. FACE NAIL
 - I. DOUBLE TOP PL: 16d @ 10" O.C. FACE NAIL
 - J. CONTINUOUS HEADER (2 PC): 16d @ 10" O.C. EDGE NAIL
 - K. C.O. JOIST TO Rafter: 3-8d TOE NAIL
 - L. C.O. JOIST LAP OVER PL: 3-16d FACE NAIL
 - M. C.O. JOIST TO RAFTER: 3-16d FACE NAIL
 - N. RAFTER TO TOP PL: 3-8d TOE NAIL
 - O. COLLAR TIES (EA END): 6-10d (UNO) FACE NAIL
 - P. WOOD STRUCTURAL PANELS TO FRAMING:

WOOD STRUCTURAL PANEL NAILING SCHEDULE

22. AT SISTERED JOISTS, LAMINATE NEWLY FRAMING TO EXISTING MEMBERS WITH 2" MINIMUM STITCHES AND 12" O.C. COMMON NAILS AT 12" O.C.	WALL SPACING - INTERMEDIATE SUPPORTS (FIELD)	12"
23. ANCHORAGE AT SILL: a) COMMON OR DEFORMED (2-1/2" X 0.131" X 0.281" (HEAD) (ROOF) OR RRSR-01 (2-3/8" X 0.113" NAIL (ROOF) b) COMMON OR DEFORMED (2-1/2" X 0.131" X 0.281" (HEAD) (ROOF) OR RRSR-01 (2-3/8" X 0.113" NAIL (ROOF)	WALL SPACING - INTERMEDIATE SUPPORTS (FIELD)	12"
19/32"-3/4" (8d COMMON OR DEFORMED (2-1/2" X 0.131" X 0.281" (HEAD) (ROOF) OR RRSR-01 (2-3/8" X 0.113" NAIL (ROOF)	WALL SPACING - INTERMEDIATE SUPPORTS (FIELD)	12"
19/32"-3/4" (8d COMMON OR DEFORMED (2-1/2" X 0.131" X 0.281" (HEAD) (ROOF) OR RRSR-01 (2-3/8" X 0.113" NAIL (ROOF)	WALL SPACING - INTERMEDIATE SUPPORTS (FIELD)	12"



PROJECT IMAGE

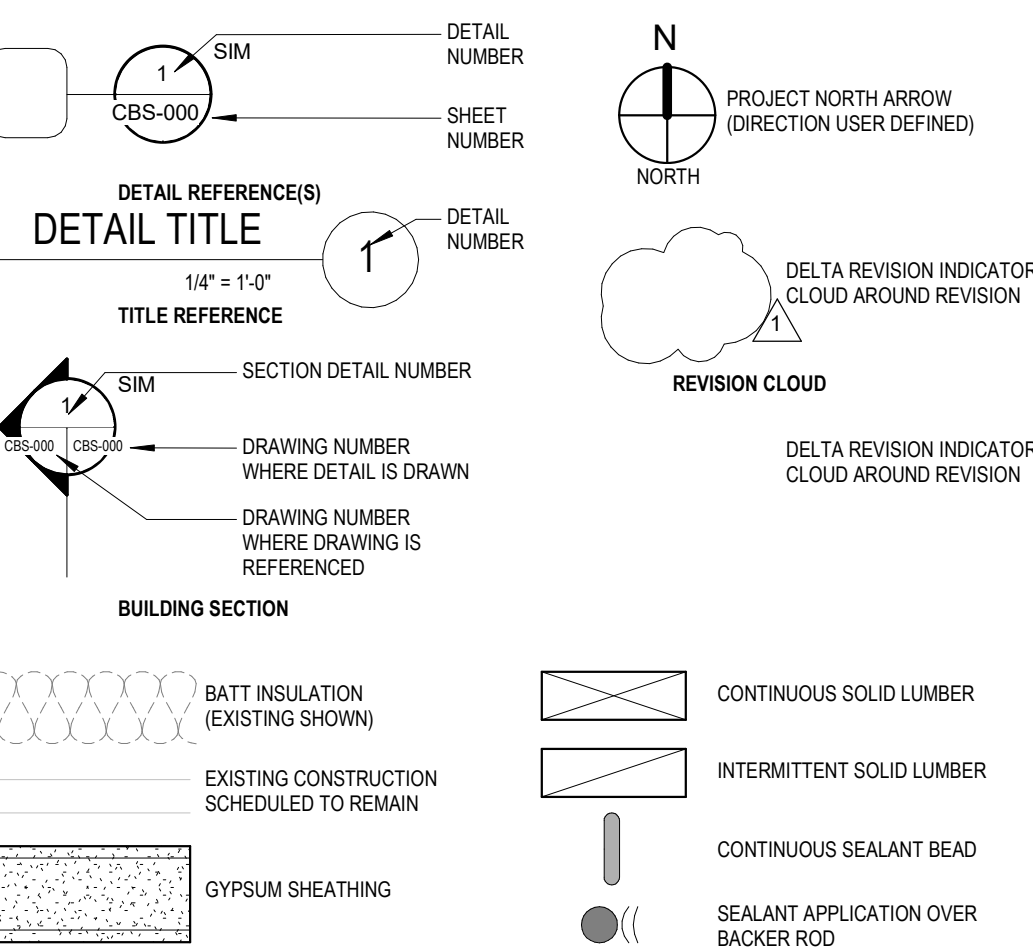


VICINITY MAP



LOCATION MAP

REFERENCE SYMBOLS / LEGEND



DRAWING TERMS:

- DEMOLISH: COMPLETELY REMOVE AND LEGALLY DISPOSE OF OFF-SITE.
- NEW ITEM: A TERM USED ON DRAWINGS TO INDICATE THAT AN ITEM IS PROVIDED AS NEW WORK. ASSUME ALL WORK NOT NOTED AS EXISTING IS NEW UNLESS ADDRESSED BY ALLOWANCES AND/OR ALTERNATES.
- PROTECT (ITEM): A TERM USED ON DRAWINGS TO INDICATE AN ITEM REQUIRES PROTECTION FROM THE WORK.
- REMOVE (ITEM): A TERM USED ON DRAWINGS TO INDICATE A SPECIFIC ITEM TO BE DETACHED FROM EXISTING CONSTRUCTION AND LEGALLY DISPOSED OF OFF-SITE. UNLESS INDICATED OTHERWISE TO BE REMOVED, SALVAGED, AND REINSTALLED.
- REMOVE AND REINSTALL (ITEM): A TERM USED ON DRAWINGS TO INDICATE A SPECIFIC ITEM TO BE DETACHED FROM EXISTING CONSTRUCTION, PREPARED FOR REUSE, AND REINSTALLED BACK IN ITS EXISTING LOCATION.
- RELOCATE (ITEM): A TERM USED ON DRAWINGS TO INDICATE AN EXISTING ITEM THAT HAS BEEN REMOVED, AND TO BE REINSTALLED IN A NEW LOCATION.
- SALVAGE (ITEM): CAREFULLY DETACH FROM EXISTING CONSTRUCTION, IN A MANNER TO PREVENT DAMAGE READY FOR REUSE. INCLUDE FASTENERS OR BRACKETS NEEDED FOR REATTACHMENT IN ORIGINAL LOCATION OR ELSEWHERE.
- REPAIR (ITEM): A TERM USED ON DRAWINGS TO INDICATE EXISTING ITEMS OF CONSTRUCTION THAT ARE NOT BE REMOVED AND THAT ARE NOT OTHERWISE INDICATED TO BE REMOVED, SALVAGED, OR REMOVED AND REINSTALLED. EXISTING TO REMAIN IS INDICATED BY GRAPHIC LINE-TYPE SYMBOL.

ENCLOSURE COMPONENT GENERAL NOTES:

MEMBRANE INSTALLATION:
1. CLEAN AND PREPARE SURFACE PRIOR TO INSTALLATION OF ALL MEMBRANES IN ACCORDANCE TO MANUFACTURERS RECOMMENDATIONS OR AS DIRECTED BY CONSULTANT. APPLY PRIMERS TO ACHIEVE FULL ADHESION.

2. PROVIDE SADDLE FLASHING AT INTERSECTIONS AT BALCONY/ROOF PARAPET AND WALL BALCONY EDGE TO WALL AND ALL SIMILAR TYPE TRANSITIONS THAT MAY OCCUR WITHIN THE BUILDING ENVELOPE ASSEMBLIES.

3. FORM JOINTS ARE TO BE S-LOCK OR STANDING SEAMS UNLESS OTHERWISE APPROVED, FORM INTERNAL & EXTERNAL CORNERS IN METAL FLASHINGS WITH JOINT ASSEMBLY SHOWN IN DRAWINGS.

4. TERMINATE METAL FLASHINGS WITH UPFLOODED END DAMS OVER WINDOWS AND DOORS. EXTEND FLASHING AS DETERMINED BY CONSULTANT. CONTRACTOR TO FIELD VERIFY THAT METAL HEAD FLASHING DOES NOT INTERFERE WITH OPERATION OF WINDOWS, DOORS, OR ACCESS PANELS.

5. FORM FLASHINGS WITH 15' SLOPE TO DRAIN U.N.O.

EXTERIOR OPENINGS AND PENETRATIONS:
1. NO CONCERNED EFFORT HAS BEEN MADE BY CONSULTANT TO QUANTIFY THE EXTERIOR FIXTURES, SUCH AS LIGHT FIXTURES, CONVENIENCE RECEPTACLES, EXHAUST VENTS, PIPE PENETRATIONS, MOIST BIRS, ELECTRICAL, OR METERS, ETC. CONTRACTOR SHALL PERFORM OWN QUANTITY SURVEY.

2. INSTALL SEALANT JOINT WITH BACKER ROD AROUND INTERIOR PERIMETER OF OPENINGS FOR AIR BARRIER CONTINUITY.

3. FORM EXTERIOR PERIMETER SEALANT JOINTS 3/8 IN. WIDE WITH CLOSED CELL BACKER ROD U.N.O. MAINTAIN JOINT WIDTH/DEPTH RATIO OF 2:1.

CODE SUMMARY

GOVERNING CODES: BUILDING: 2022 OREGON STRUCTURAL SPECIALTY CODE (OSSC) 2021 OREGON EXISTING BUILDING CODE (OEB) ENERGY: 2021 OREGON ZERO ENERGY READY COMMERCIAL ENERGY CODE (ZEERC) ELECTRICAL: 2023 OREGON ELECTRICAL SPECIALTY CODE (OESC) MECHANICAL: 2022 OREGON MECHANICAL SPECIALTY CODE (OMSC) PLUMBING: 2023 OREGON PLUMBING CODE (OPC)	CONSTRUCTION TYPE: BUILDING 1: TYPE IIA, PER 2022 OSSC TABLE 601 STRUCTURES ARE ASSUMED TO BE CONSTRUCTED ORIGINALLY IN 1936 UNDER THE 1935 UNIFORM BUILDING CODE - TYPE III - ORDINARY MASONRY BUILDING 2: TYPE IIA, PER 2022 OSSC TABLE 601 STRUCTURES ARE ASSUMED TO BE CONSTRUCTED ORIGINALLY IN 1936 UNDER THE 1935 UNIFORM BUILDING CODE - TYPE IIR BUILDING 4: TYPE IIA, PER 2022 OSSC TABLE 601 STRUCTURES ARE ASSUMED TO BE CONSTRUCTED ORIGINALLY IN 1936 UNDER THE 1935 UNIFORM BUILDING CODE - TYPE IIR
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GENERAL NOTES - ENERGY CONSERVATION

APPLICABLE ENERGY CODE:	2022 OREGON ENERGY EFFICIENCY SPECIALTY CODE (ASHRAE 90.1-2020)
CLIMATE ZONE (TABLE C901.1):	5B
OCCUPANCY TYPE(B) (IBC 302.1.1):	E' (EDUCATIONAL)

THIS DESIGN IS IN CONFORMANCE WITH THE PRESCRIPTIVE BUILDING ENVELOPE REQUIREMENTS OF ASHRAE 90.1-2022 SECTION 5.5 AND AS NOTED BELOW FOR EACH BUILDING COMPONENT AND /OR PORTION OF THE BUILDING.

BUILDING ELEMENTS (PER TABLE 5.5-5)

CONSTRUCTION COMPONENT	REQUIRED (NON-RES)	PROVIDED (NON-RES)
FENESTRATION U-FACTOR	U-0.36 MAX	N/A
SKYLIGHT U-FACTOR	U-0.50 MAX	U-0.30
ROOF - INSULATION ENTIRELY ABOVE DECK	R-30ci	R-30ci (MIN AT LOWEST POINT)

GENERAL INSULATION AND ENERGY CODE NOTES:

- EXPOSED INSULATION MATERIALS, INCLUDING FACINGS AND VAPOR BARRIERS, SHALL HAVE A FLAME SPREAD INDEX NOT TO EXCEED 25 AND A SMOKE DENSITY NOT TO EXCEED 450, AND SHALL BE IN SUBSTANTIAL CONTACT WITH THE WALL OR CEILING SURFACE.
- ALL INSULATION SHALL STRICTLY CONFORM TO THE REQUIREMENTS OF UL LISTING WHERE USED IN UL RATED ASSEMBLIES.

PROJECT DATA

OWNER: COLUMBIA GORGE COMMUNITY COLLEGE
OWNER CONTACT: DAREN OLSON, daren.olson@cga.edu
CERTA PROJECT MANAGER: DAN RUNDLE, dan.rundle@certasolutions.com
PROJECT LOCATION: 400 EAST SCENIC DRIVE, THE DALLES, OR 97058
PROPERTY ID: 1N 1E S 100
ZONING: RL (LOW DENSITY RESIDENTIAL)
DIRECTION: CL OF THE DALLES

LEGAL DESCRIPTION

TAX LOT NO: 01N13 E09 00100 00
PROPERTY DESCRIPTION: SECTION 9 TOWNSHIP 1N RANGE 13E QUARTER PRCL 100 Map Tax Lot: 01N13 E09 00100 00
NEIGHBORHOOD: 406 NEIGHBORHOOD COMMERCIAL

PROJECT TEAM

OWNER

COLUMBIA GORGE COMMUNITY COLLEGE

400 EAST SCENIC DRIVE
THE DALLES, OR 97058
PHONE: 541-213-7184
EMAIL: daren.olson@cga.edu
CONTACT: DAREN OLSON

ARCHITECT

CERTA BUILDING SOLUTIONS

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PORTLAND, OR 97202

PHONE: 888-853-3787
EMAIL: dan.rundle@certasolutions.com
CONTACT: BEN WOLK
ARCHITECT: DAN RUNDLE

DEFERRED SUBMITTALS

NO DEFERRED SUBMITTALS OR DELEGATED DESIGN ELEMENTS ARE INCLUDED AS PART OF THE BASE SCOPE FOR THIS PROJECT

GENERAL NOTES - PROJECT

- ALL WORK IS TO COMPLY WITH CODES LISTED IN THE CODE SUMMARY TABLE ON THIS SHEET.
- CLASSIFICATION OF WORK:
 - RE-ROOFING - LEVEL 1 ALTERNATION
- THE CONTRACTOR IS RESPONSIBLE TO CHECK THE PLANS AND IS TO NOTIFY THE ARCHITECT OF ANY CONFLICTING INFORMATION PRIOR TO THE START OF CONSTRUCTION.
- WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE THE DRAWINGS. WHERE DIMENSIONS IN DRAWINGS DIFFER FROM EXISTING CONDITIONS, NOTIFY ARCHITECT FOR CLARIFICATION OF DETAILING ADJUSTMENT FROM TO PROCESSING WITH WORK.
- HANDRAILS ARE REQUIRED ON ALL INTERIOR OR EXTERIOR STAIRS, UNO.
- COLUMN DIMENSIONS ARE AS FOLLOWS:
 - COLUMNS TO CENTERLINE OF COLUMN
 - WOOD WALLS: FACE OF FRAMING UNLESS NOTED OTHERWISE
 - CONCRETE: FACE OF FINISHED CONCRETE
 - FLOORS: FINISH FLOOR ELEVATION (FFE)
- READ DRAWINGS IN CONJUNCTION WITH PROJECT MANUAL (SPECIFICATIONS).
- DO NOT SCALE DRAWINGS. VERIFY DIMENSIONS ON SITE.
- DRAWINGS HAVE BEEN PRODUCED FROM AVAILABLE RECORD DOCUMENTS AND LIMITED FIELD SURVEY INFORMATION. DISCREPANCIES BETWEEN CERTA DOCUMENTS AND ACTUAL PROJECT CONDITIONS TO THE IMMEDIATE ATTENTION OF THE ARCHITECT /CONSULTANT AND REQUEST A REVIEW WHEN DISCREPANCIES ARE DISCOVERED.
- EXECUTION OF THE CONTRACT BY THE CONTRACTOR IS A REPRESENTATION THAT THE CONTRACTOR HAS VISITED THE SITE, BECOME GENERALLY FAMILIAR WITH THE LOCAL CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND CORRELATED PERSONAL OBSERVATIONS WITH REQUIREMENTS OF THE CONTRACT DOCUMENTS.
- INTERNAL & EXTERNAL CORNERS IN METAL FLASHINGS WITH JOINT ASSEMBLY SHOWN IN DRAWINGS.
- IF REQUIRED BY ALL BEFORE STARTING EACH PORTION OF THE WORK, CAREFULLY STUDY AND COMPARE THE VARIOUS DRAWINGS AND OTHER CONTRACT DOCUMENTS RELATIVE TO THAT PORTION OF THE WORK, AS WELL AS INFORMATION FURNISHED BY OWNER. TAKE FIELD MEASUREMENTS OF ANY EXISTING CONDITIONS RELATED TO THAT PORTION OF THE WORK AND OBSERVE CONDITIONS OF THE WORK SITE AFFECTING IT. THESE OBLIGATIONS ARE FOR THE PURPOSE OF FACILITATING CONSTRUCTION BY THE CONTRACTOR AND NOT FOR THE PURPOSE OF DISCOVERING ERRORS, OMISSIONS, OR INCONSISTENCIES DISCOVERED BY THE CONTRACTOR PROMPTLY TO THE CONSULTANT AS A REQUEST FOR INTERPRETATION IN THE FORM PROVIDED IN THE PROJECT MANUAL.
- REPETITIVE FEATURES, REGARDLESS OF ORIENTATION, NOT SHOWN ON DRAWINGS SHALL BE COMPLETELY PROVIDED AS IF DRAWN IN FULL.
- IF REPORT DISCREPANCIES TO CONTRACT DOCUMENTS TO ARCHITECT /CONSULTANT FOR CLARIFICATION PRIOR TO COMMENCING WORK.
- IMMEDIATELY NOTIFY ARCHITECT /CONSULTANT UPON DISCOVERY OF ADDITIONAL UNFORESEEN DAMAGE TO EXISTING CONSTRUCTION SCHEDULED TO REMAIN AND THAT IS OUTSIDE THE CONTRACT REQUEST A REVIEW. DO NOT COMMENCE RELATED WORK TO NEARBY WORK WITHOUT CONSULTANT APPROVAL.
- TRADE CONTRACTORS ARE RESPONSIBLE FOR THE LAYOUT OF THEIR OWN WORK, AND TO SEE THAT THEIR WORK COMES TOGETHER WITH THAT OF OTHERS WITH THE DESIGN INTENT IDENTIFIED IN THE DOCUMENTS. REPORT DISCREPANCIES ON DRAWINGS TO CONSULTANT FOR DECISIONS.
- TRADE CONTRACTORS MUST ASSURE THEMSELVES THAT THEY HAVE THE LATEST DRAWINGS ISSUED FOR CONSTRUCTION THE GENERAL CONTRACTOR IS TO MAINTAIN A WORKING SET IN THE CONTRACTOR SITE OFFICE AND MAKE IT AVAILABLE FOR SUB-CONTRACTOR USE.
- EARLY ORIGINAL JOINTINGMAN TRADESMAN OR ORIGINAL INSTALLERS OF NEW WORK TO PERFORM CUTTING AND PATCHING OF NEW WORK, IF APPLICABLE.
- ALL RECONSTRUCTED WALLS TO MATCH (S) STUD FRAMING SIZING, SPACING, AND ANCHORING PATTERNS. VERIFY EACH IS CONSISTENT WITH THE ORIGINAL DESIGN DOCUMENTS.
- ALL REPAIRED, EXPOSED INSULATION IS TO HAVE A FLAME SPREAD RATING OF LESS THAN 25 AND A SMOKE DENSITY RATING OF LESS THAN 450.
- HANDRAILS ARE REQUIRED ON ALL INTERIOR OR EXTERIOR STAIRS, UNO. NOTIFY CONSULTANT IF FOUND TO BE MISSING.
- EXISTING BUILDING HEIGHT AND AREAS ARE NOT TO BE CHANGED.
- EXISTING EMERGENCY LIGHTING AND EXIT PATHS TO BE MAINTAINED.

DRAWING INDEX - BUILDING 4

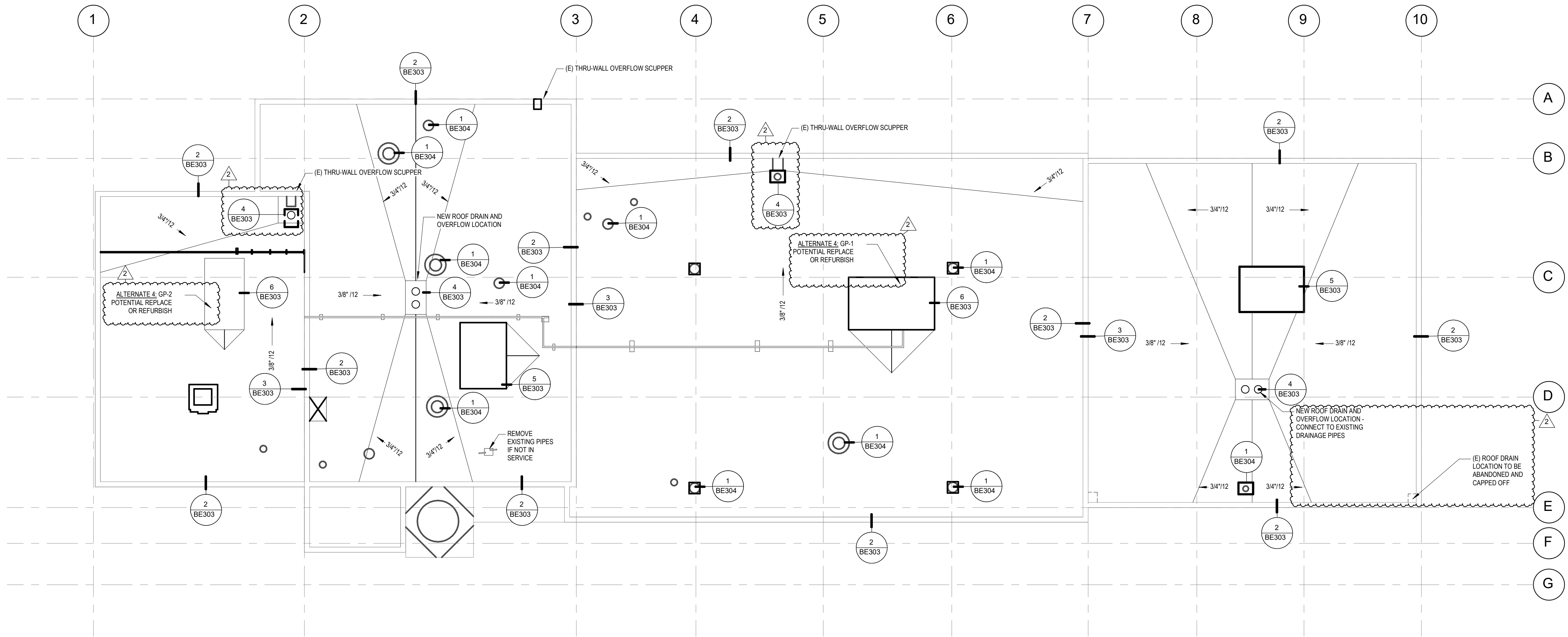
SHEET NUMBER	COVER SHEET
01 - GENERAL	
02 - ARCHITECTURAL	
03 - ELECTRICAL	
04 - BUILDING ENCLOSURE	
05 - BUILDING ENCLOSURE - WOOD	
06 - BUILDING ENCLOSURE - WOOD	
07 - BUILDING ENCLOSURE - WOOD	
08 - BUILDING ENCLOSURE - WOOD	
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52 - BUILDING ENCLOSURE - WOOD	
53 - BUILDING ENCLOSURE - WOOD	

SCOPE OF REPAIR NOTES

1. CONTRACTOR SHALL MAINTAIN A RECORD OR "AS-BUILT" SET OF DRAWINGS, CLEARLY IDENTIFYING SUCH DISCREPANCIES BETWEEN THE DRAWINGS AND THE AS-CONSTRUCTED CONDITIONS.
2. EDGE METAL AND DRIP ELEMENTS SHALL BE REPLACED AS PART OF THE WORK. PROVIDE MINIMUM 24 GAUGE PREPARED SHEET STEEL FLASHINGS PER THE DETAILS.
3. SALVAGE HVAC SHROUDS AT EXISTING CURBS FOR REINSTALLATION AFTER COMPLETION OF THE NEW ROOF.
4. SHEET METAL COMPONENTS DIRECTLY RELATED TO THE NEW ROOFING SYSTEM SHALL BE REPLACED PER THE DETAILS AND SPECIFICATIONS.
5. ALL OPENINGS, VOIDS, ETC. THROUGH THE CEMENTITIOUS WALL ZONES OF THE BUILDING ENVELOPE ADJACENT TO ROOFING WORK SHALL BE SEALED/PATCHED WITH NON-SHRINKING, NON-METALLIC, CEMENTITIOUS REPAIR MORTAR.

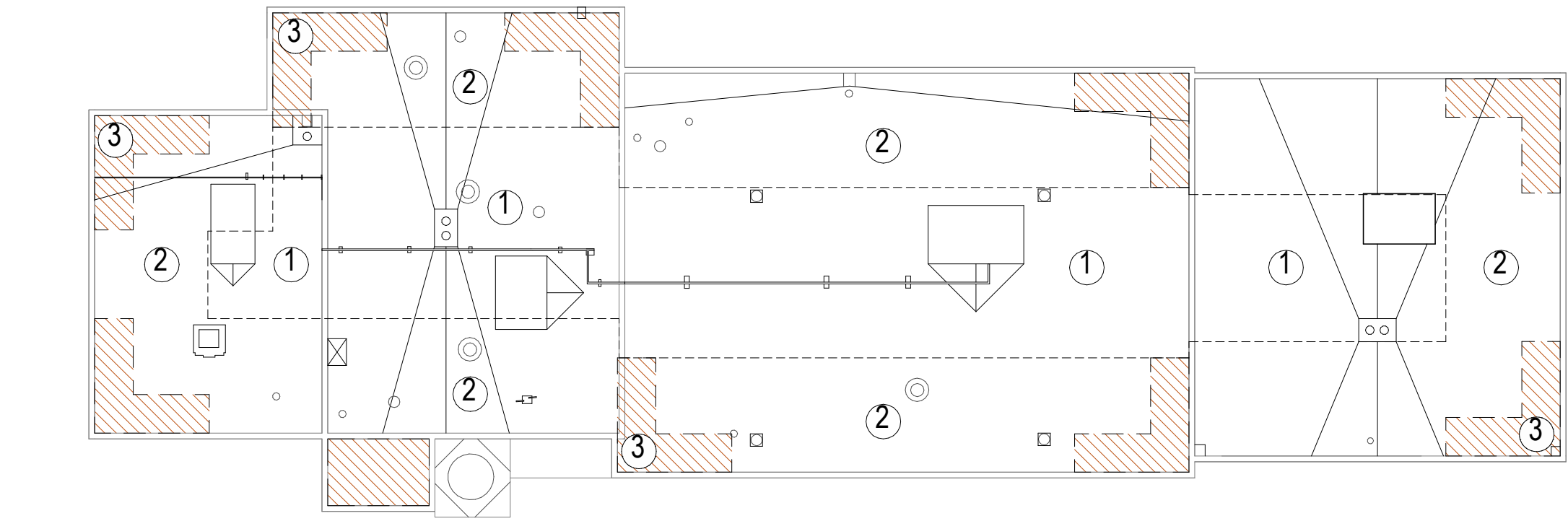
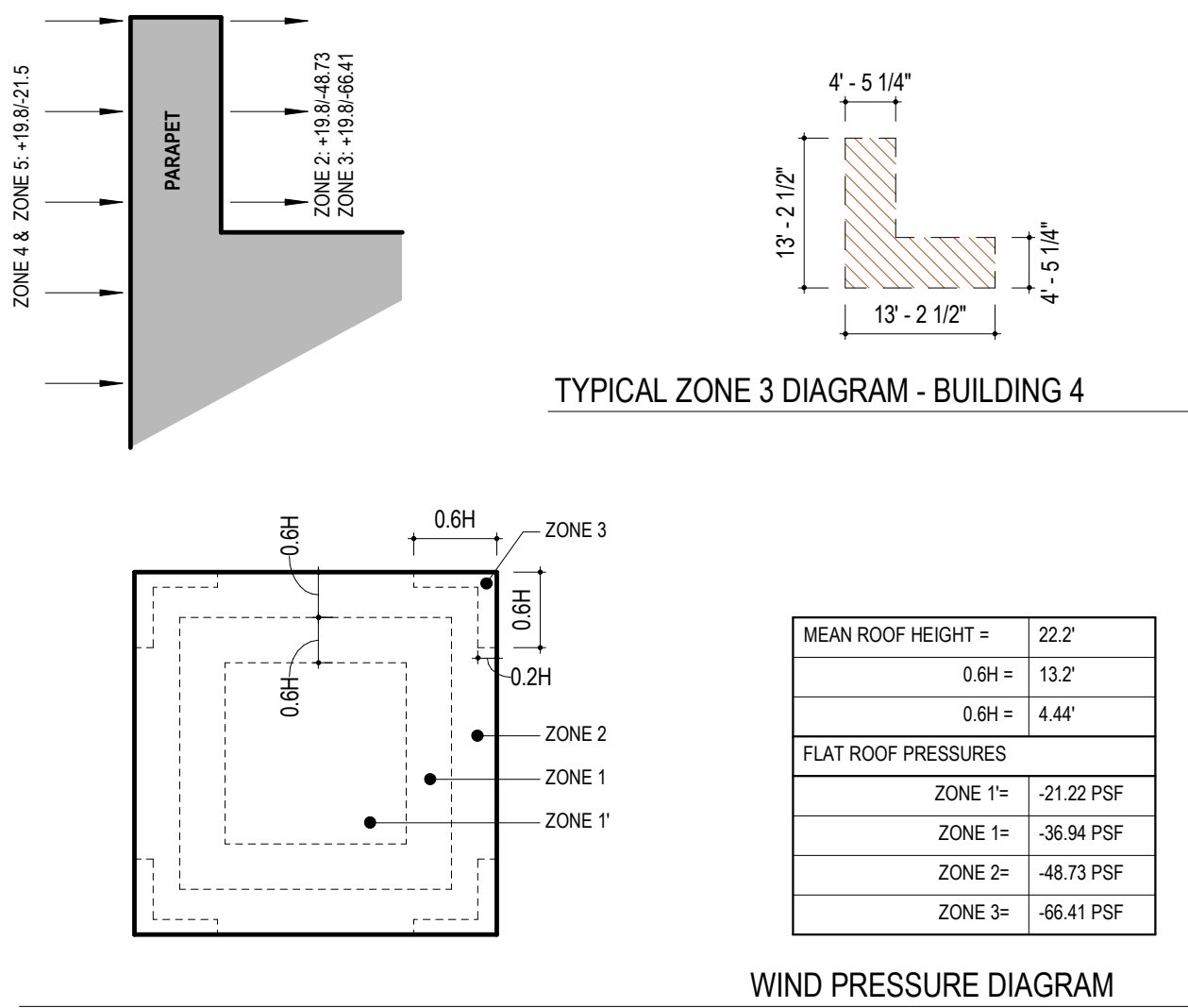
GENERAL ROOF PLAN SHEET NOTES

1. ROOF PLANS HAVE BEEN DEVELOPED BASED UPON THE AVAILABLE INFORMATION PRIOR TO THE COMMENCEMENT OF THIS DESIGN PACKAGE. CONTRACTOR SHALL VISUALLY REVIEW EXISTING CONDITIONS IN THE FIELD AND MEASURE AREAS TO RECEIVE NEW ROOFING MATERIALS.
2. ROOF PLANS DO NOT PURPORT TO SHOW ALL EXISTING MECHANICAL ELEMENTS, PENETRATIONS, OR OTHER IN-SERVICE ELEMENTS. THE ROOF PLAN SHOULD BE CONSIDERED A GUIDE ONLY - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD-VERIFY ELEMENTS.
3. CONTRACTOR SHALL FIELD-VERIFY LOCATIONS PRIOR TO BID. CONTRACTOR SHALL NOTIFY CONSULTANT OF DISCREPANCIES ENCOUNTERED DURING FIELD VERIFICATION, IF ANY.
4. ALTERNATE 3: ANY ROOFTOP EXHAUST FANS WILL BE MAINTENANCE ONLY.



ROOF PLAN - BUILDING 4

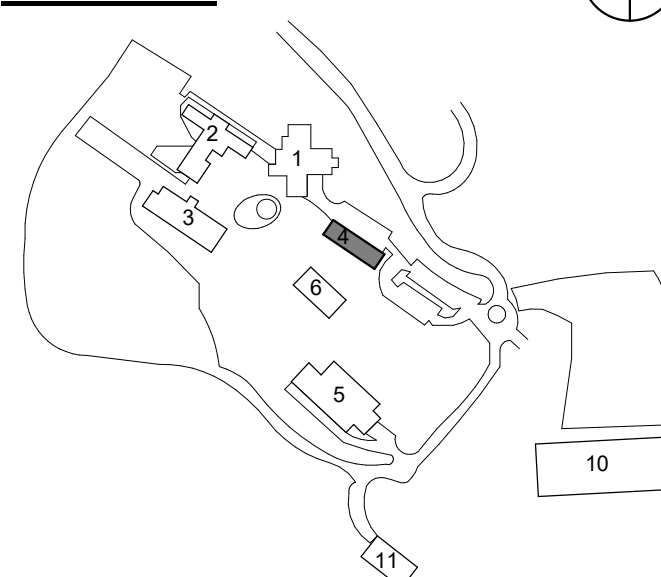
1/8" = 1'-0"



WIND PRESSURE ROOF PLAN - BUILDING 4

1/8" = 1'-0"

KEY PLAN



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PROJECT NO.: OR25-059

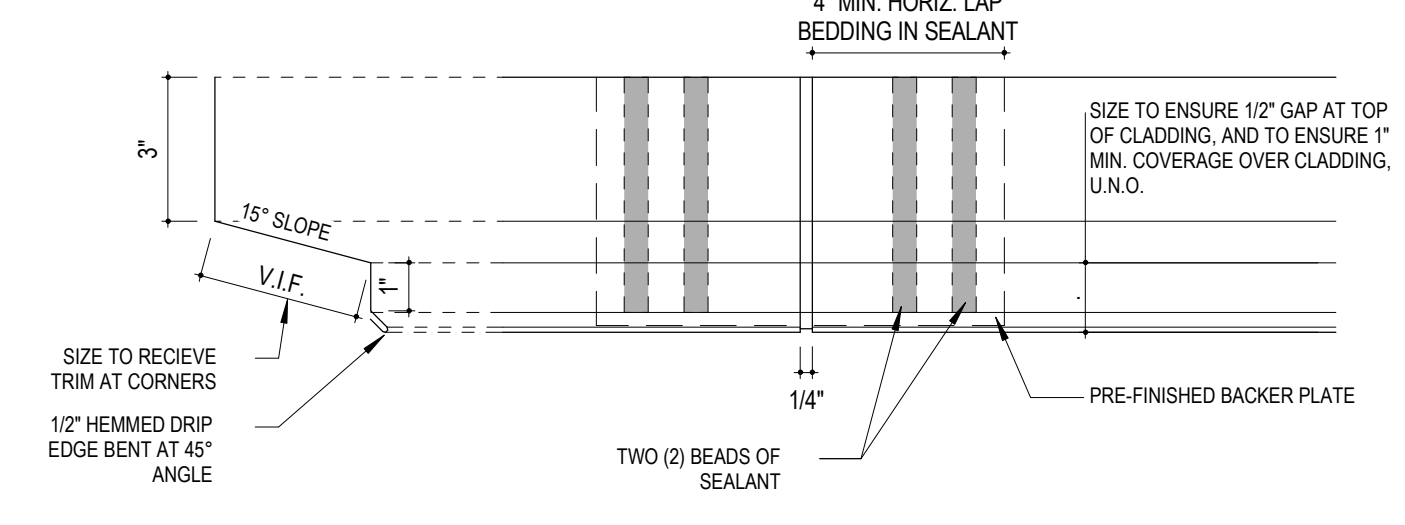
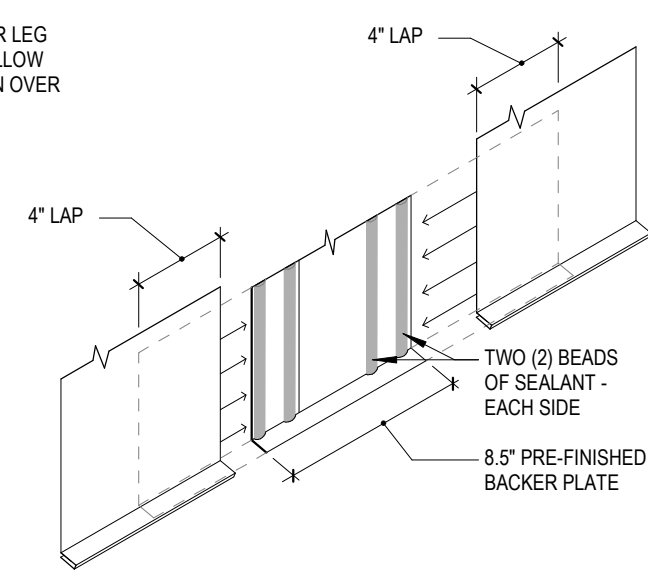
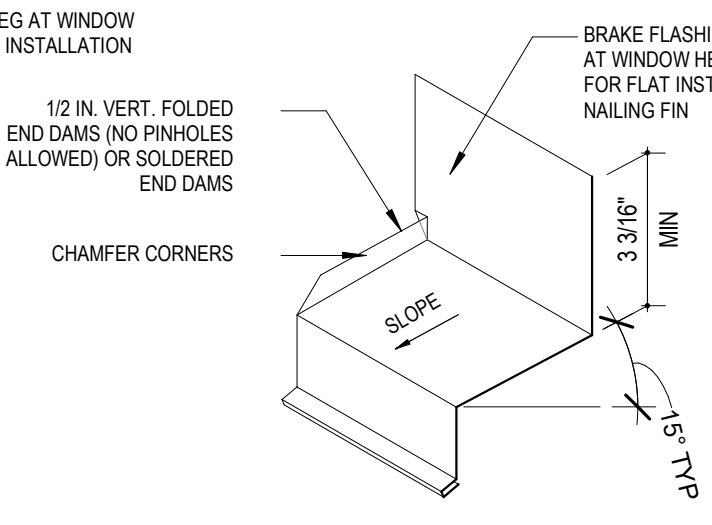
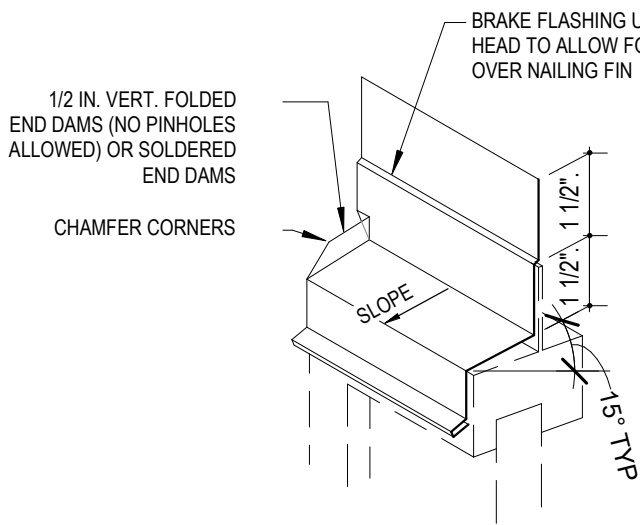
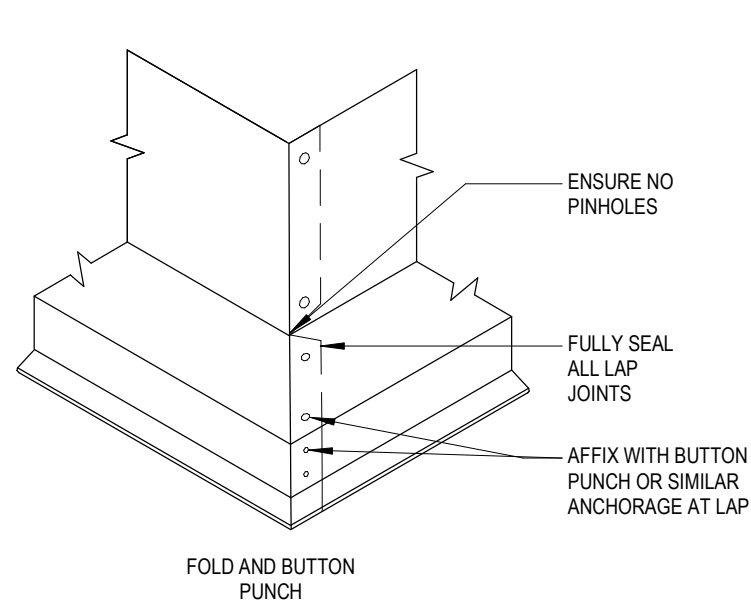
ROOF PLAN - BLDG 4

4-A100

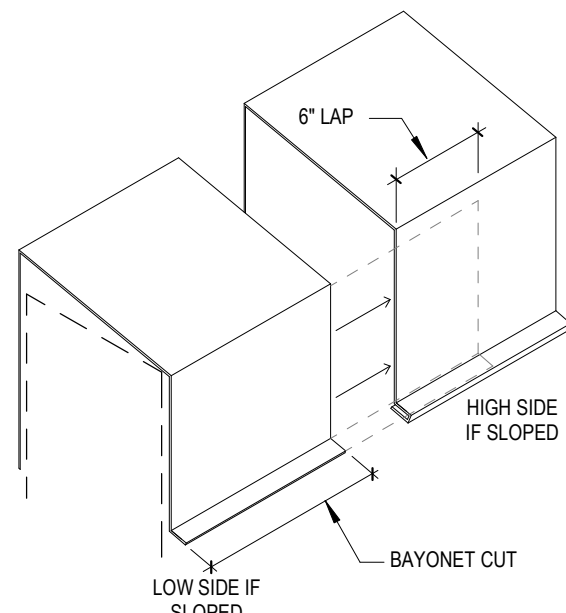
OR25-059 - COLUMBIA GORGE COMMUNITY COLLEGE - BUILDING 4
400 EAST SCENIC DRIVE, THE DALLES, OR 97058
BID SET

FOR BID - NOT FOR CONSTRUCTION

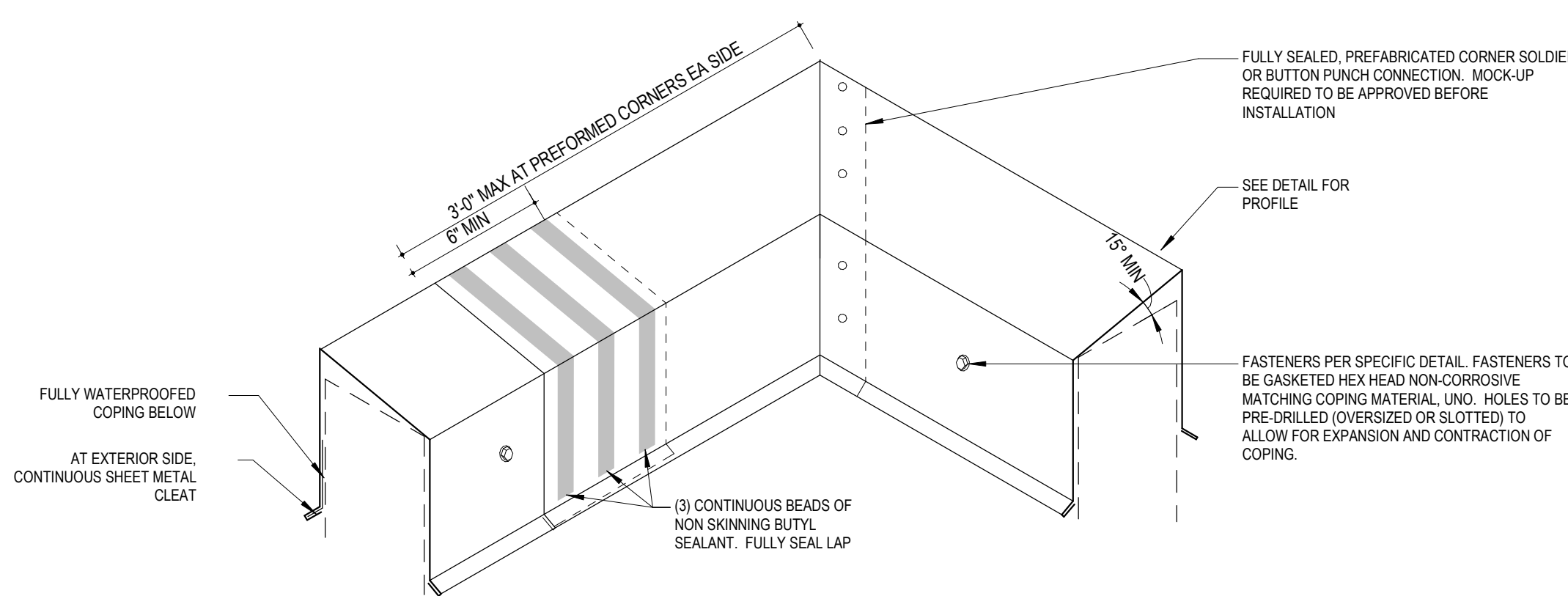
NOTES:
THIS DETAIL IS CONCEPTUAL AND DESCRIBES DESIGN INTENT. IT DOES NOT PURPORT TO SHOW ALL CONDITIONS. ALL FLASHING JOINTS AND TERMINATIONS TO BE PERMANENTLY WATERTIGHT.



TYPICAL FLASHING JOINERY 3" = 1'-0" ①



TYPICAL LINEAR FLASHING SEJUCE AT COPING



NOTES:
THIS DETAIL IS CONCEPTUAL AND DESCRIBES DESIGN INTENT. IT DOES NOT PURPORT TO SHOW ALL CONDITIONS. ALL FLASHING JOINTS AND TERMINATIONS TO BE PERMANENTLY WATERTIGHT.

TYPICAL COPING FLASHING AND LINEAR FLASHING LAP JOINT 3" = 1'-0" ②

23 0719 - EXTERIOR WALL MOUNT HVAC LINE-SET PENETRATION OUTLET WITH ELASTOMERIC LINE-SET COMPRESSION SLEEVE (BASIS OF DESIGN: AIREX MANUFACTURING - TITAN TSS(TSS-500-X) - SELECT WHITE OR GREY TO BLEND IN WITH EXTERIOR WALL FINISH COLOR - SEE SCHEDULE BELOW FOR OUTLET TYPE.

23 0719 - STAINLESS STEEL HOSE CLAMP TO FASTEN LINE-SET COVER TO PENETRATION BOOT

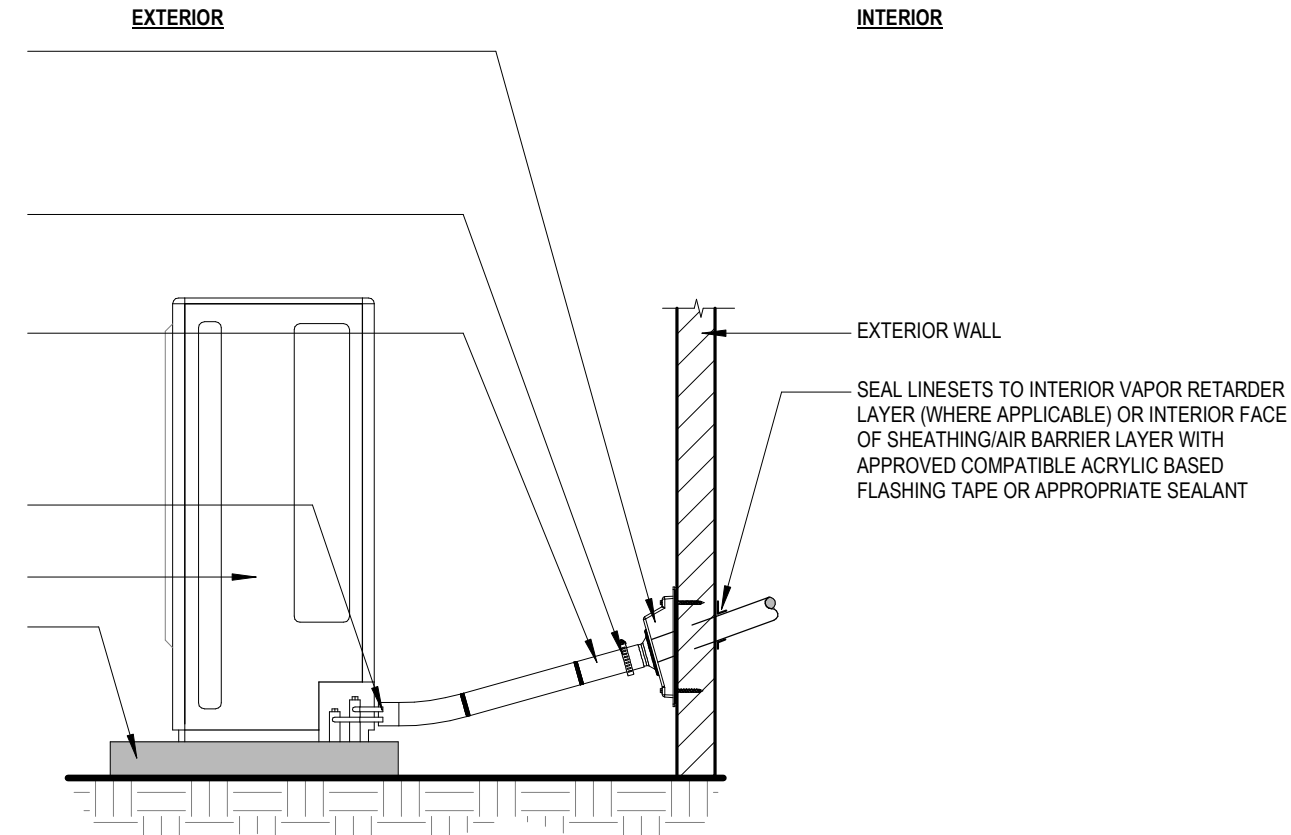
23 0719 - UV RESISTANT PVC PROTECTIVE INSULATION COVER FOR LINESET - LENGTH SHALL BE SUFFICIENT TO COVER LINE-SET COMPLETELY FROM FLASHING BOOT TO OUTDOOR UNIT CONNECTIONS (BASIS OF DESIGN: AIREX MANUFACTURING E-FLEX GUARD)

SEAL ENDS OF LINESET INSULATION TO EXPOSED LINESET PIPING W/ SKAFLEX S21 UV SEALANT

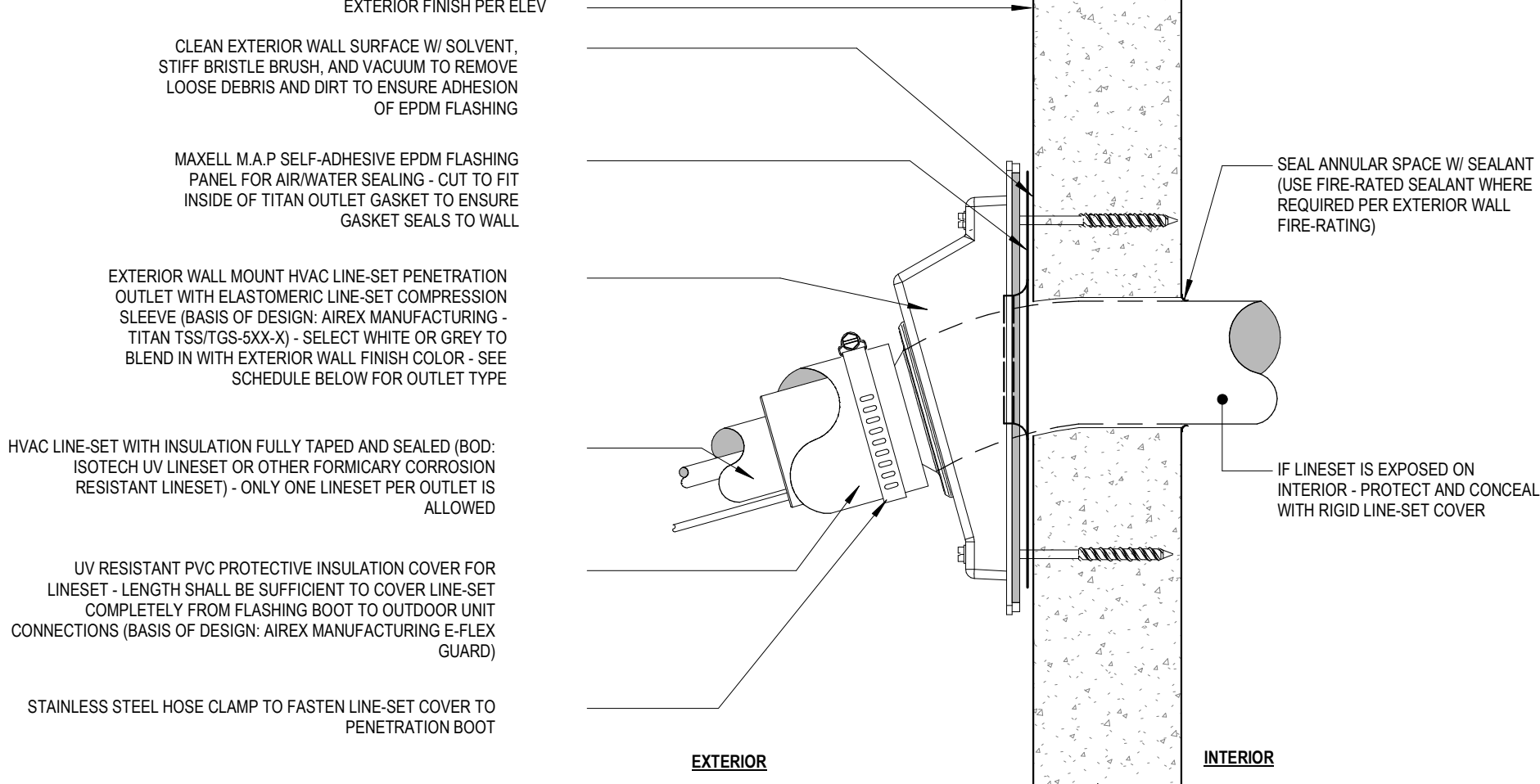
OUTDOOR HVAC UNIT

OUTDOOR HVAC UNIT PAD OR MOUNT

HVAC LINESET OUTLET SELECTION SCHEDULE	
FOR NEW INSTALLATIONS (PREFERRED) (OR LOW PROFILE LOCATIONS)	TSS-550 OR S75 (ADD -34 TO END OF MODEL # FOR 3/4" THICK GASKET FOR UNEVEN SURFACES)
FOR NEW INSTALLATIONS (VERTICAL MOUNTING BLOCKS OR UP TO 1" WALL THICKNESS PIPE INSUL.)	TGS-550, S75, OR S10 (ADD -34 TO END OF MODEL # FOR 3/4" THICK GASKET FOR UNEVEN SURFACES)
FOR RETROFIT INSTALLATIONS	TGS-550, S75, OR S10 (ADD -34 TO END OF MODEL # FOR 3/4" THICK GASKET FOR UNEVEN SURFACES)

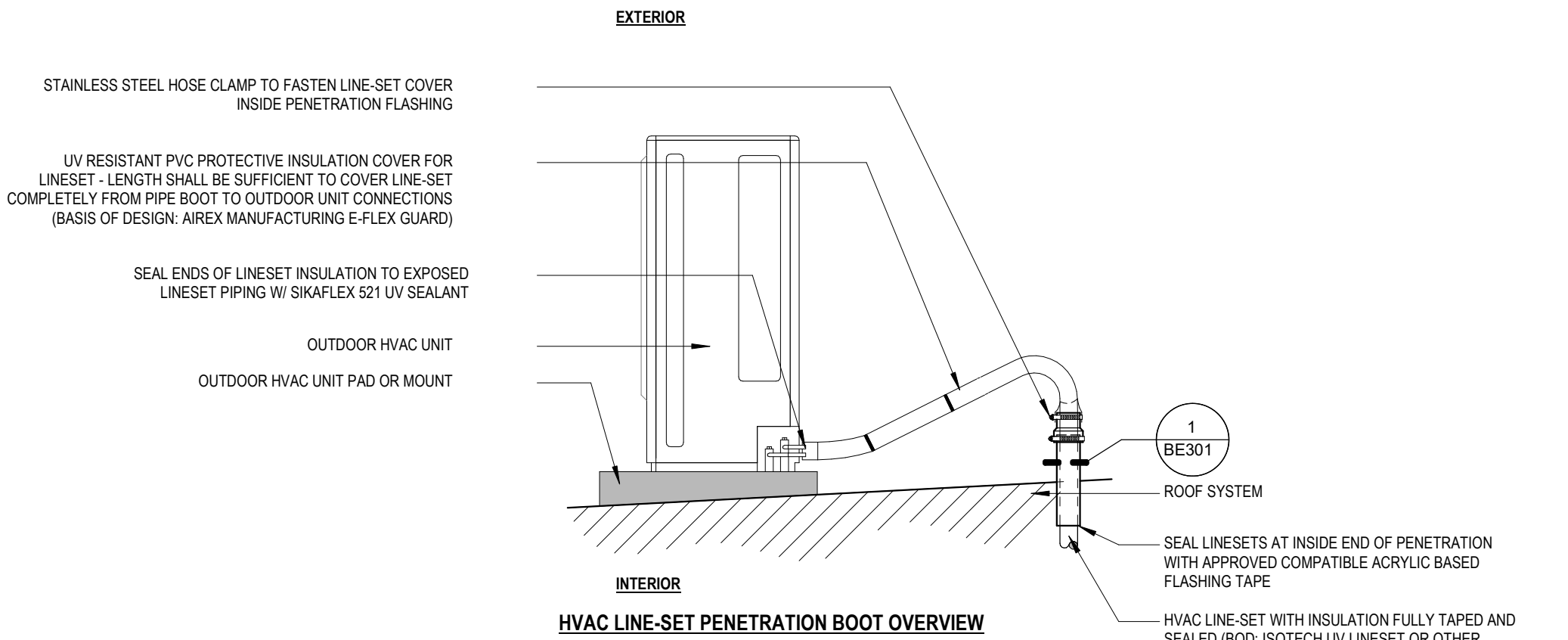


HVAC LINE-SET PENETRATION BOOT OVERVIEW



HVAC LINE-SET PENETRATION BOOT ENLARGED DETAIL

HVAC LINESET PENETRATION AT CONCRETE WALL 3/4" = 1'-0" ③



HVAC LINESET PENETRATION AT ROOF 3/4" = 1'-0" ④

OR25-059 - COLUMBIA GORGE COMMUNITY COLLEGE - <None>
400 EAST SCENIC DRIVE, THE DALLES, OR 97058
BID SET

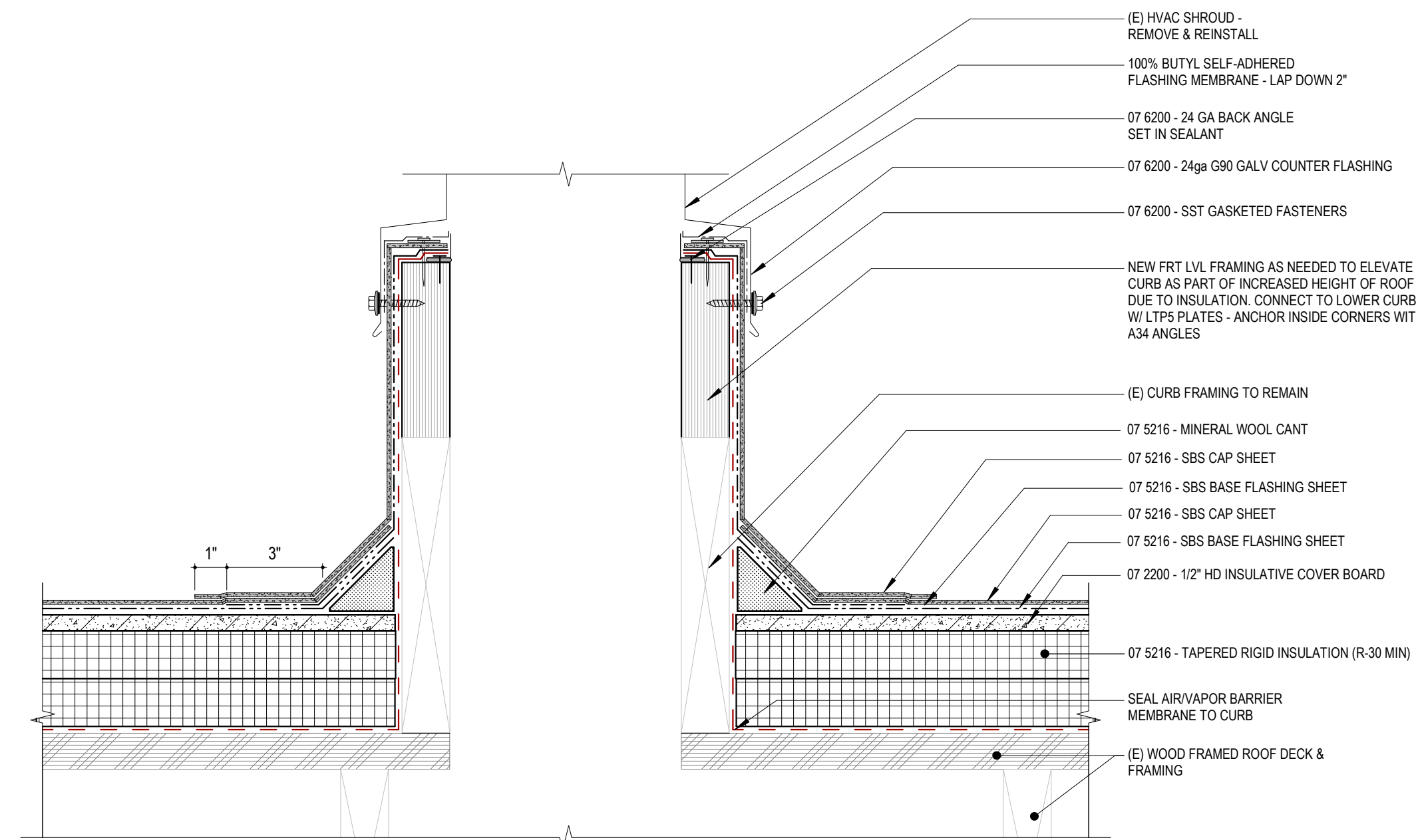
REVISIONS

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ISSUE DATE: 2026-02-11
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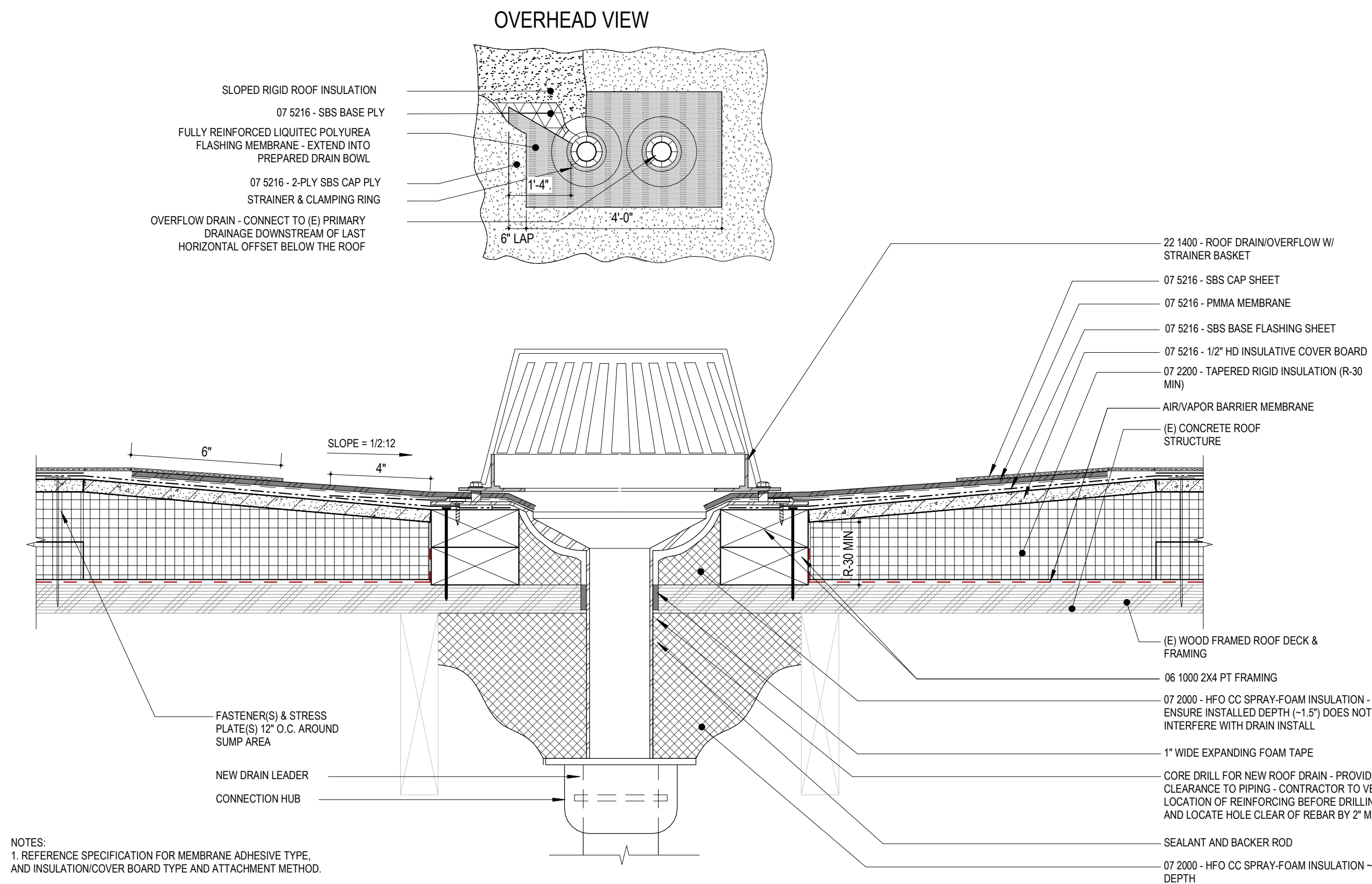
TYPICAL DETAILS
BE100

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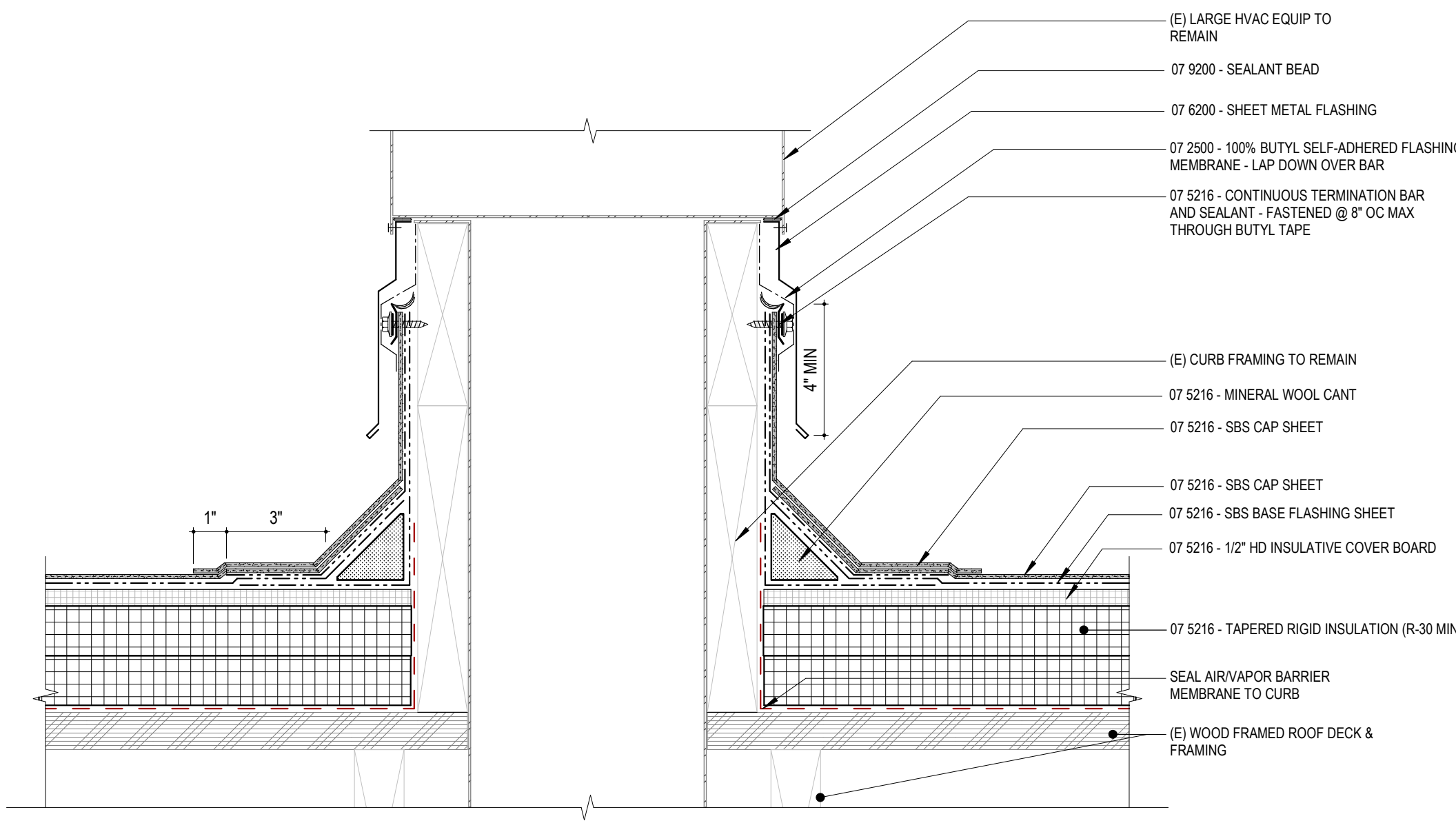
2-PLY SBS MEMBRANE - TYPICAL MECH CURB - WOOD

3" = 1'-0"



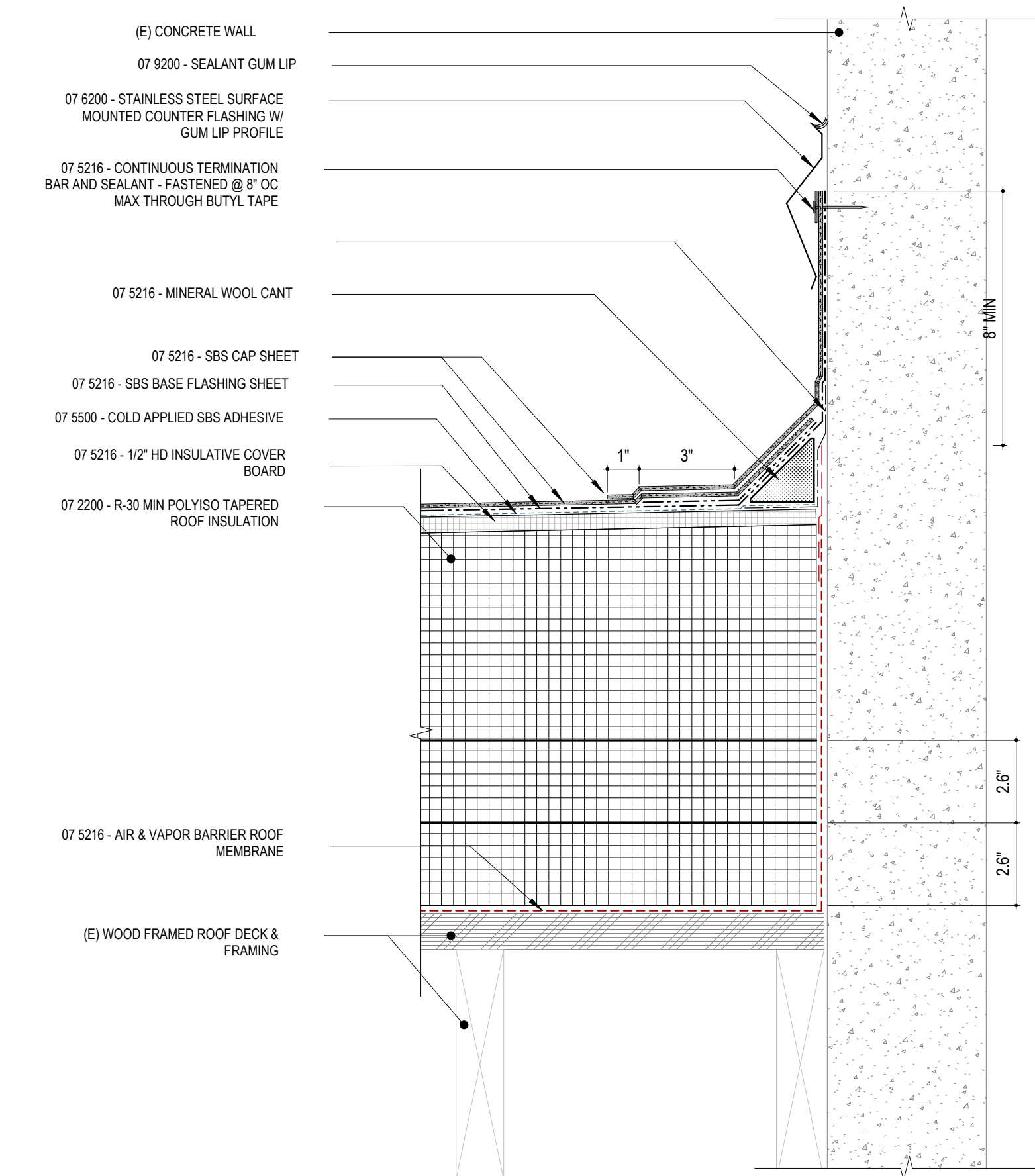
2-PLY SBS MEMBRANE - NEW ROOF DRAIN - WOOD

3" = 1'-0"



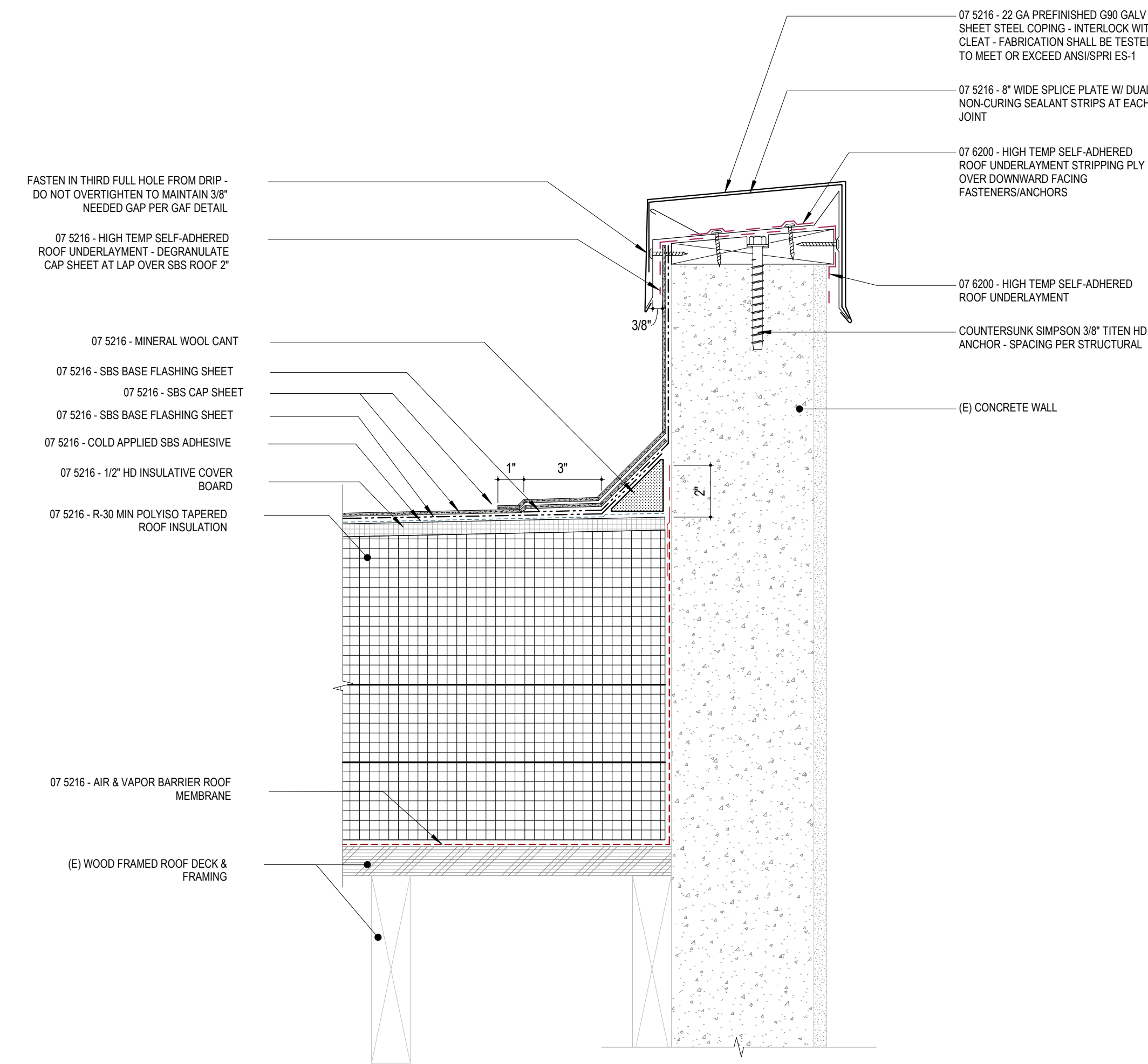
2-PLY SBS MEMBRANE - LARGE MECH EQUIP CURB - WOOD

3" = 1'-0"



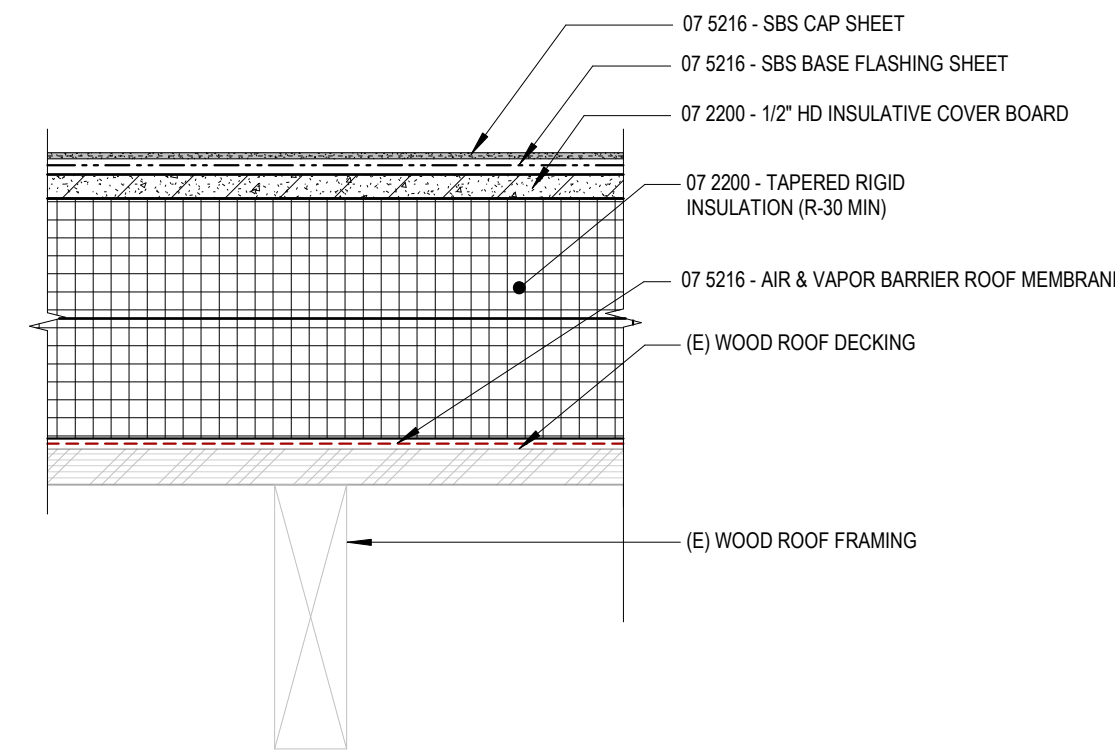
2-PLY SBS MEMBRANE - ROOF TO WALL - CONCRETE WALL AND DECK

3" = 1'-0"



2-PLY SBS MEMBRANE - PARAPET DETAIL W/ NEW COPING AT CONC WALL AND WOOD DECK

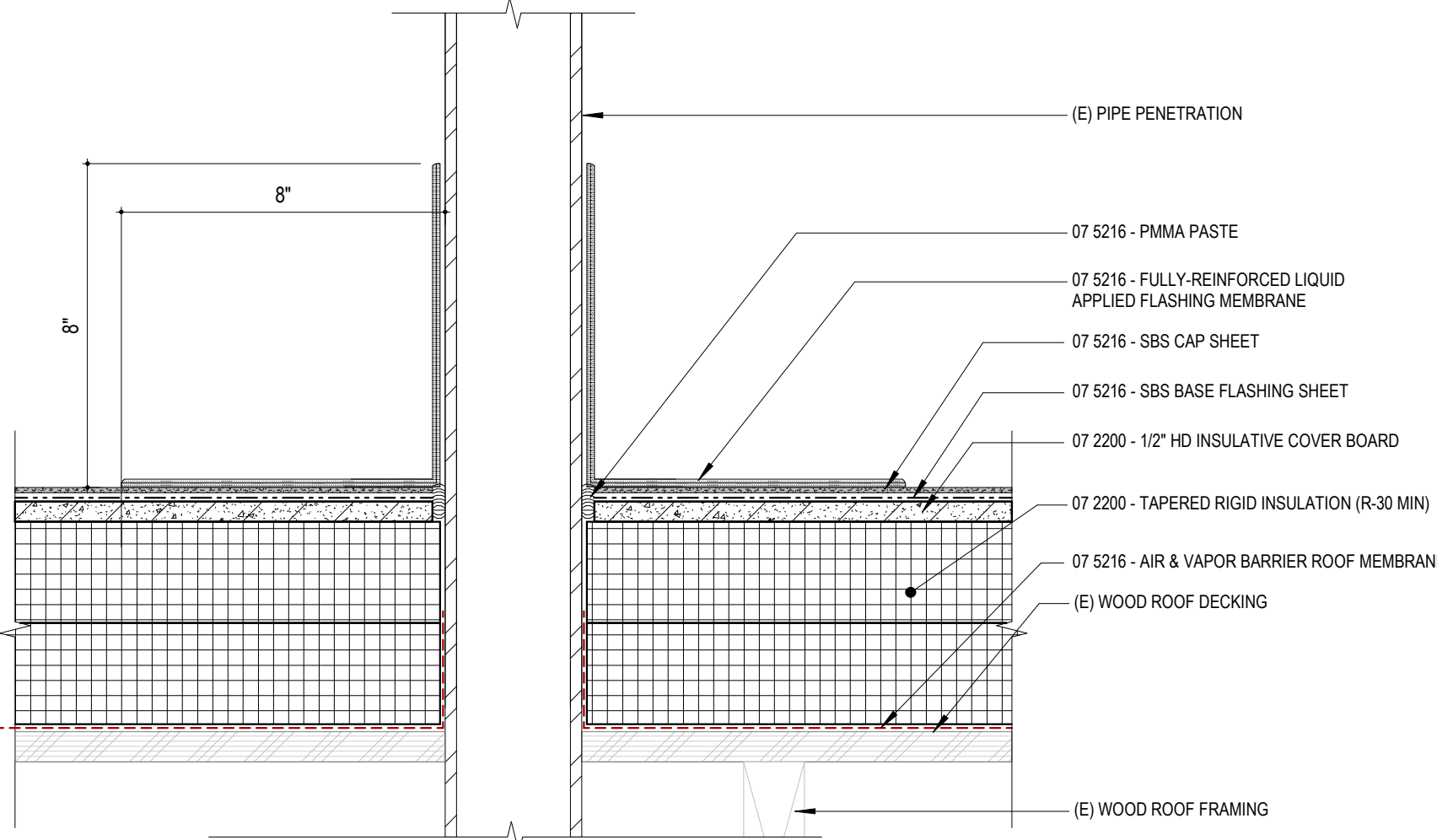
3" = 1'-0"



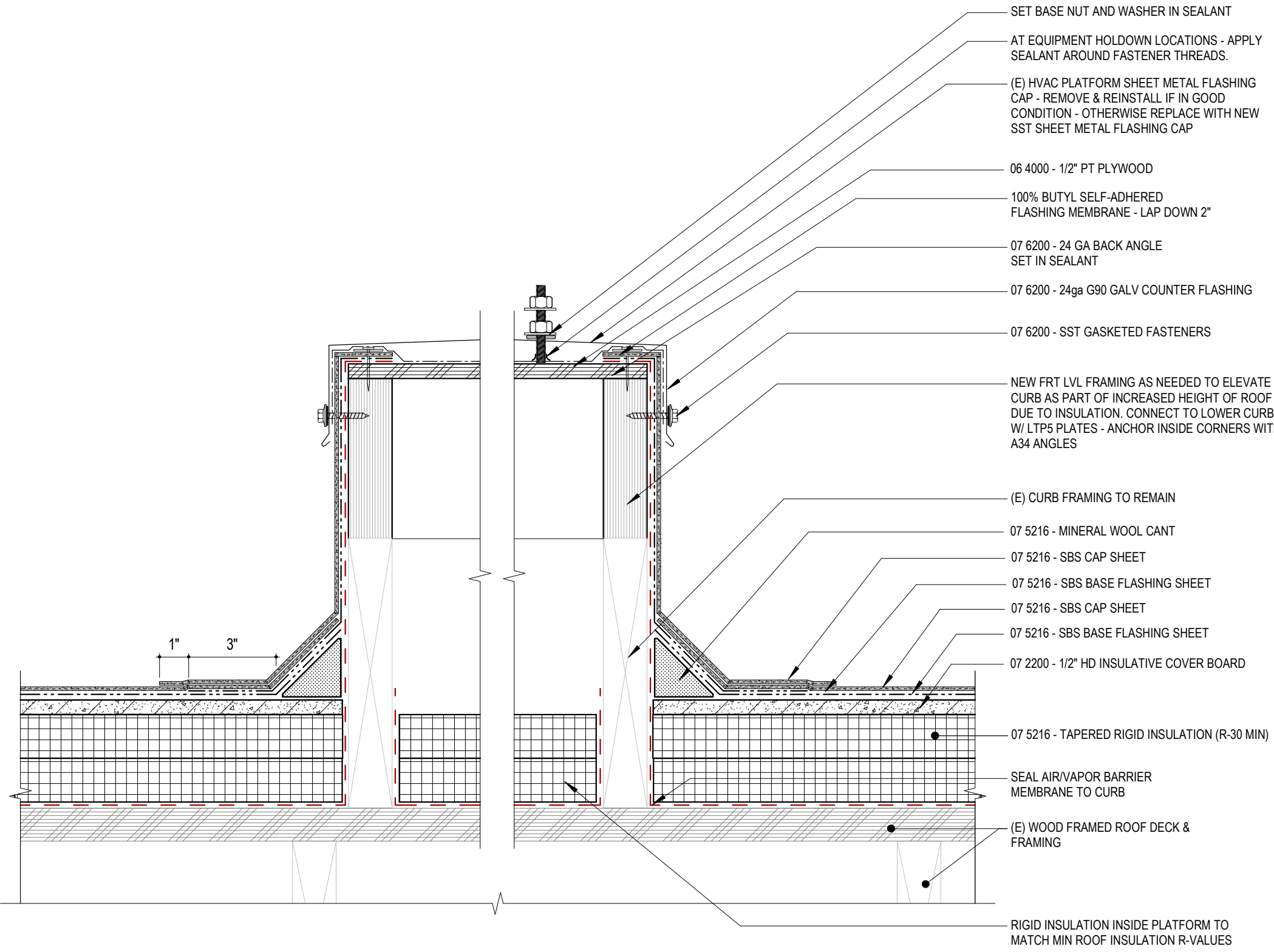
2-PLY SBS MEMBRANE - TYPICAL ROOF ASSEMBLY - WOOD

3" = 1'-0"

NOTES:
1. REFERENCE SPECIFICATION FOR MEMBRANE ADHESIVE TYPE, AND INSULATION/COVER BOARD TYPE AND ATTACHMENT METHOD.
2. PREPARE AND CLEAN PIPE PRIOR TO APPLYING FLASHING.



PLUMBING STACK PENETRATION - WOOD 3" = 1'-0" 1



2-PLY SBS MEMBRANE - TYPICAL MECH PLATFORM - WOOD 3" = 1'-0" 2

REVISIONS

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